

PPSSWC-67 – Liverpool City Council – DA-906/2019 – 40-46, 48, 52 and 64 Scott Street, Liverpool
NSW 2170

Known as 52 Scott Street, Liverpool ('Liverpool Civic Place') – Early works DA

COUNCIL ASSESSMENT REPORT

SYDNEY WESTERN CITY PLANNING PANEL

COUNCIL ASSESSMENT REPORT

Panel Reference	PPSSWC-67
DA Number	DA-906/2019
LGA	Liverpool City Council
Proposed Development	Early works DA for: • Demolition of all existing structures on land at 52 Scott Street, 40-46 Scott Street and 64 Scott Street; • Bulk earthworks to a maximum depth of RL 10.35, including shoring using piles, on land at 52 Scott Street, 40-46 Scott Street, 48 Scott Street and 64 Scott Street; and • Removal of seven (7) trees including six (6) trees on an adjacent site at 306-310 Macquarie Street. Note: no demolition or excavation works are proposed on 306-310 Macquarie Street.
Street Address	40-46, 48, 52 and 64 Scott Street, Liverpool NSW 2170 Known as 52 Scott Street, Liverpool ('Liverpool Civic Place')
Applicant/Owner	Applicant: Built Development Group; Landowner: Liverpool City Council
Date of DA lodgement	13 December 2019
Number of Submissions	Two (2)
Recommendation	Approved with conditions
Regional Development Criteria (Schedule 7 of the SEPP (State and Regional Development) 2011)	The development is 'Council related development' with a capital investment value of over \$5 million.
List of all relevant s4.15(1)(a) matters	Environmental Planning Instruments (EPIs) • State Environmental Planning Policy No.55 – Remediation of Land; • State Environmental Planning Policy (State and Regional Development) 2011; • State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017; • State Environmental Planning Policy (Infrastructure) 2007;

	• Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment; • Liverpool Local Environmental Plan 2008. Development Control Plans (DCP) • Liverpool Development Control Plan 2008 ○ Part 1 – Controls applying to all development ○ Part 4 – Development in Liverpool City Centre Regulations • Environmental Planning and Assessment Regulation 2000
List all documents submitted with this report for the Panel's consideration	1) Demolition Plans 2) Civil Engineering Drawings 3) Site Survey 4) Construction Management Plan 5) Structural Report 6) Arboricultural Development Impact Assessment Report 7) Waste Management Plan 8) Preliminary Geotechnical Assessment 9) Preliminary Site Investigation 10) QS Report 11) Heritage Impact Statement 12) Hazardous Building Materials Assessment 13) Historical Archeological Assessment 14) Geotechnical and Environmental Investigation Report 15) Aboriginal Heritage Due Diligence Assessment 16) Construction Noise and Vibration Management Plan 17) Contamination, Ecological and Flood Report 18) Water NSW Cover Letter and General Terms of Approval (GTAs), dated 5 May 2020 19) Transport for NSW Response, dated 12 May 2020 20) Applicant's Response to Council's Request for Additional Information, dated 14 April 2020 21) Applicant's Response to Council's Request for Additional Information, dated 27 April 2020 22) Conditions of Consent
Clause 4.6 requests	NA
Summary of key submissions	• Retention of on-street car parking and loading zone along Macquarie Street • Noise, access and visibility impacts to restaurant located at 300 Macquarie Street, Liverpool

Report prepared by	Architectus
Report date	14 May 2020

Summary of s4.15 matters

Have all recommendations in relation to relevant s4.15 matters been summarised in the Executive Summary of the assessment report? **Yes**

Legislative clauses requiring consent authority satisfaction

Have relevant clauses in all applicable environmental planning instruments where the consent authority must be satisfied about a particular matter been listed, and relevant recommendations summarized, in the Executive Summary of the assessment report? **Yes**

e.g. Clause 7 of SEPP 55 - Remediation of Land, Clause 4.6(4) of the relevant LEP

Clause 4.6 Exceptions to development standards

If a written request for a contravention to a development standard (clause 4.6 of the LEP) has been received, has it been attached to the assessment report? **Not Applicable**

Special Infrastructure Contributions

Does the DA require Special Infrastructure Contributions conditions (S7.24)? **No**

Note: Certain DAs in the Western Sydney Growth Areas Special Contributions Area may require specific Special Infrastructure Contributions (SIC) conditions

Conditions

Have draft conditions been provided to the applicant for comment? **Yes**

Note: in order to reduce delays in determinations, the Panel prefer that draft conditions, notwithstanding Council's recommendation, be provided to the applicant to enable any comments to be considered as part of the assessment report

1. EXECUTIVE SUMMARY

Pursuant to Section 4.16 of the Environmental Planning and Assessment Act, development consent is sought for site preparation and early works at 52 Scott Street, Liverpool.

DA-906/2019 seeks to prepare the site for works associated with a Concept DA for the site (DA585/2019). The Concept DA has not yet been determined.

The early works DA seeks approval for:

- Demolition of all existing structures on land at 52 Scott Street, 40-46 Scott Street and 64 Scott Street;
- Bulk earthworks to a maximum depth of RL 10.35, including shoring using piles, on land at 52 Scott Street, 40-46 Scott Street, 48 Scott Street and 64 Scott Street; and
- Removal of seven (7) trees as offsite works, including six (6) trees on an adjacent site at 306-310 Macquarie Street.

Sydney Western City Planning Panel (SWCPP) is the determining body for the application under Schedule 7 of State Environmental Planning Policy (State and Regional Development) 2011, as the development is 'Council related development' with a value of more than \$5 million.

The following relevant Environmental Planning Instruments, Development Control Plans and Codes or Policies have been considered as part of the assessment of this application:

Legislation

- *Environmental Planning and Assessment Act 1979*
- *Water Management Act 2000*
- *Roads Act 1993*

Environmental Planning Instruments (EPI's)

- *State Environmental Planning Policy No.55 – Remediation of Land;*
- *State Environmental Planning Policy (State and Regional Development) 2011;*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017;*
- *State Environmental Planning Policy (Infrastructure) 2007;*
- *Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment;*
- *Liverpool Local Environmental Plan 2008.*

Development Control Plans

- *Liverpool Development Control Plan 2008*
 - Part 1 – Controls applying to all development
 - Part 4 – Development in Liverpool City Centre

Regulations

- Environmental Planning and Assessment Regulation 2000

Summary of relevant matters

Water Management Act 2000

The DA is integrated development in accordance with Section 4.46 (1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act). The proposed works include excavation below the groundwater level and will require approval for water supply works under the *Water Management Act 2000*.

Water NSW has provided General Terms of Approval (GTA) on 5 May 2020. The GTA issued by WaterNSW do not constitute an approval under the *Water Management Act 2000*. The applicant must apply to WaterNSW for the relevant approval after development consent has been issued and before the commencement of any work or activity.

The requirement to obtain approval from WaterNSW prior to the commencement of any work, will be included as a condition of consent.

State Environmental Planning Policy No. 55 – Remediation of Land

The site contains potential contaminants but can be made suitable for the proposed development and future uses consistent with the requirements of SEPP 55.

An Asbestos Management Plan (AMP) will be required to be prepared prior to the commencement of earthworks. This will be subject to a condition of consent.

It is considered that based on the imposition of suitable conditions, that the proposal is consistent with SEPP 55 and will be made suitable for the proposed development.

State Environmental Planning Policy (Infrastructure) 2007

The DA was referred to Transport for NSW in accordance the provisions of the Infrastructure SEPP. Transport for NSW has reviewed the proposal and on 12 May 2020 provided conditions to be imposed as a condition of consent.

This includes limiting access from Terminus Street to left-in only and the requirement for all demolition and construction vehicles to be contained wholly within the site. A construction zone will not be permitted on Terminus Street. Transport for NSW will require detailed stormwater drainage plans and excavation drawings to be submitted to Transport for NSW and approved in prior to the commencement of any works.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

Section 9(1) of the Vegetation SEPP establishes that the SEPP applies to any vegetation declared in a development control plan. In accordance with the tree preservation provisions in the Liverpool DCP 2008, approval is required for the proposed removal of seven trees.

The trees are not identified as having significance or high retention value and will be offset by a comprehensive landscaping strategy as part of any future development on the site. Therefore, the proposal is consistent with the Vegetation SEPP.

Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment (deemed SEPP).

It is considered that the early works DA satisfies the relevant provisions, including Clauses 8 and 9, of the GMREP No.2.

Liverpool Local Environmental Plan 2008

Land zoning

The site is zoned B4 mixed use pursuant to the Liverpool Local Environmental Plan 2008. Earthworks are permissible in the B4 Mixed Use zone. Demolition is permissible with consent under Clause 2.7 of the Liverpool LEP 2018.

Clause 7.31 – Earthworks

In accordance with the requirements of this Clause, a Construction Management Plan has been provided. The Plan outlines how earthworks will be undertaken to minimise disruption and environmental impacts.

Any impacts associated with the proposed earthworks will be managed by the imposition of suitable conditions of consent. This includes the requirement for an Excavation Environmental Management Plan to manage all potential environmental impacts associated with the proposed excavation and site works.

A Noise and Vibration Management Plan will minimise amenity impacts on adjoining properties and will be imposed as a condition of consent.

Liverpool Development Control Plan 2008

Section 2 Tree Preservation

The proposal includes the removal of seven trees as off-site works. The removal of seven trees is required to facilitate future development proposed in Concept DA (DA5858/2019).

The removal of the trees is considered justified and will be offset with new tree plantings as part of a comprehensive landscaping plan associated with the Concept DA for the site. Suitable conditions for the removal and retention of trees will be imposed as a condition of consent.

Section 10 Contaminated Land Risk

The site contains potential contaminants but can be made suitable for the proposed development and future uses consistent with the requirements of SEPP 55.

Council's Environmental Health Branch have reviewed the proposed works and raise no objections, subject to conditions.

The preparation of an Excavation Environmental Management Plan will be a condition of consent. This Plan will address all environmental aspects of the proposed works and include an Asbestos Management Plan and Unexpected Finds Protocol. The removal of Asbestos Containing Materials (ACM) and/or remediation of the site in accordance with the EPA's standard requirements will be required prior to the commencement of works.

Recommendation

It is recommended that Development Application DA-906/2019 be approved subject to conditions of consent.

2. SITE DESCRIPTION AND LOCALITY

2.1 The site

The site's main address is at **52 Scott Street, Liverpool** but is officially comprised of 11 lots, legally described as:

Address	Legal Description
40-46 Scott Street, Liverpool	Lot 100, DP 877435
48 Scott Street, Liverpool	Lot 11, DP 522284 Lot 12, DP 657056
52 Scott Street, Liverpool	Lot 1, DP 229979 Lot 22, DP 441010 Lot 23, DP 441010 Lot 2, DP 229979 Lot 1, DP 507070 Lot 17, DP 81842 Lot 3, DP 229979
64 Scott Street, Liverpool	Lot 1, DP514817



Figure 1: Lot composition of development site.

Source: Six Maps

The landowner of the site is Liverpool City Council.

The development site is an irregularly shaped lot located at the southern end of Liverpool City Centre and has a total area of approximately 7,190m².

An aerial image of the subject site is provided in **Figure 2** below. A site plan is provided at **Figure 3**.

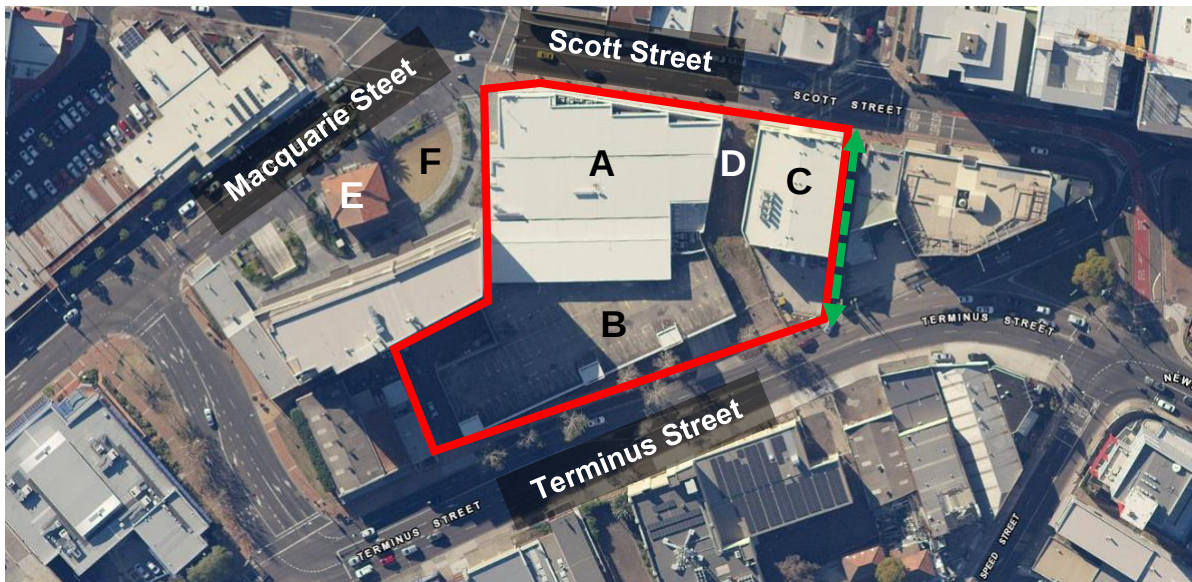


Figure 2: Aerial of subject site (in red) and surrounds. George Lane indicated in green dash.

Source: Six Maps

The site has three road frontages including the main frontage to Scott Street to the north, Macquarie Street to the north-west, George Lane to the east, and Terminus Street to the south.

The site currently contains:

- A. A two storey commercial building fronting onto Scott Street;
- B. Above ground car parking structure accessible from Terminus Street, servicing the aforementioned commercial building;
- C. A two storey commercial building located at the eastern side of the site with an adjoining carpark at the rear; and
- D. A vacant lot separating the two commercial buildings.

Adjacent to the site at 306-310 Macquarie Street is:

- E. A heritage item (I99) 'Memorial School of Arts' building fronting Macquarie Street; and
- F. Augusta Cullen Plaza, a small public park located adjacent to the Memorial School of Arts.

The site slopes to the north with a fall of approximately 3.5m from its Terminus Street frontage (approx. RL25.95) to its Scott Street frontage (approx. RL22.74).

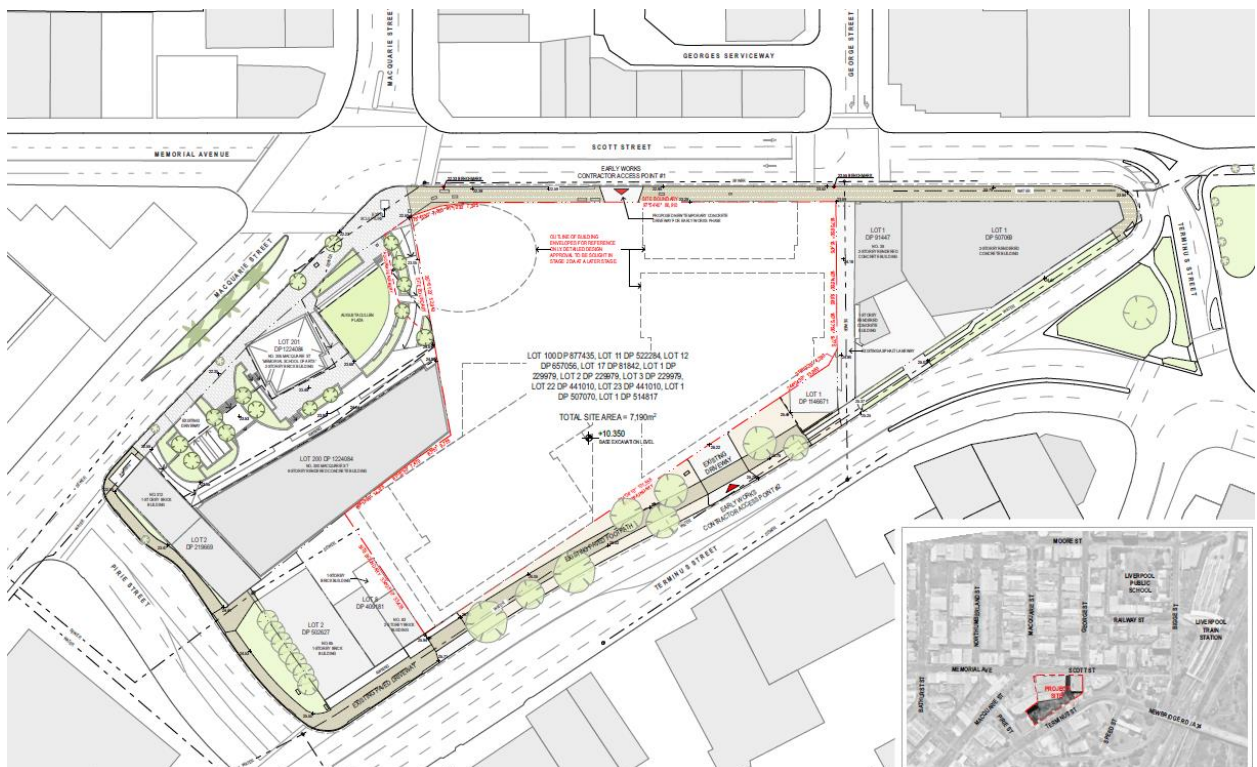


Figure 3: Site Plan

Source: FJMT

2.2 The locality

The development site is located approximately 250m south west of Liverpool railway station, and approximately 550m south of Westfield Liverpool and the Western Sydney University Liverpool Campus. Being located at the southern end of Liverpool City Centre, the surrounding locality is predominantly characterised by a range of retail / commercial premises of varying heights within the immediate vicinity.

The surrounding locality is indicated in **Figure 4** below.



Figure 4: Locality Plan

Source: Nearmap

2.3 Site affectations

The subject site has number of constraints, which are listed below:

2.3.1 Heritage

The site:

- **is not** listed as a heritage item in the Liverpool LEP 2008;
- **is** located within the immediate vicinity of heritage items.

The site is adjacent to heritage item I99, the 'Memorial School of Arts', a building of local heritage significance identified under Schedule 5 of the Liverpool Local Environmental Plan (LEP) 2008. The heritage item is located at 306-310 Macquarie Street, Liverpool (Lot 201 DP 1224084), to the west of the site.

Other surrounding heritage items in the vicinity of the site are summarised in the table below and identified in **Figure 5**.

Item name	Item number	Address	Significance
Plan of town of Liverpool (early town centre street layout – Hoddle 1827)	I89	Streets in the area bounded by the Hume Highway, Copeland Street, Memorial Avenue, Scott Street, Georges River and Main Southern Railway Line (excluding Tindall Avenue and service ways)	Local
Commercial building (formerly Rural bank and State bank)	I91	Macquarie Street and Memorial Avenue	Local
Boer War Memorial, including memorial to Private A.E. Smith	I92	Corner of Macquarie and Scott Streets (Macquarie Street public footpath adjacent to 296 Macquarie Street)	Local
Macquarie Monument	I93	Corner of Macquarie and Scott Streets (Macquarie Street public footpath adjacent to 296 Macquarie Street)	Local
Row of three palm trees	I94	Macquarie Street median strip	Local
Golden Fleece Hotel	I103	Corner of Scott and Terminus streets	Local
Liverpool Fire Station	I109	70-78 Terminus Street	Local
Bigge Park Conservation Area	Conservation Area	Area bounded by and including College, Goulburn, Railway, Scott and Bigge Streets as shown hatched red in Figure 5	Local



 The Site

Figure 5: Heritage items in the vicinity of the site
Source: Liverpool LEP 2008



Figure 6: Photo looking south-west towards the 'Memorial School of Arts Building', Macquarie Monument and 'row of three palm trees', all of which are heritage items identified under LEP 2008.
Source: Architectus

2.3.2 Traffic

The southern boundary of the site fronts Terminus Street, an RMS Classified Road that is currently four to six lanes wide. The site currently has a main vehicular entrance from Terminus Street to the car parking structure servicing the main two-storey commercial building on Scott Street.

Terminus Street is the main east-west thoroughfare for district traffic, connecting the Hume Highway at its western terminus and Bankstown Airport and beyond in the east. It is a major road that enables vehicles to bypass Liverpool City Centre and experiences high volumes of traffic. Part of the site along Terminus Street is subject to land acquisition by RMS to facilitate future widening of the road.

Two construction vehicle access points are proposed: one from Terminus Street and one from Scott Street. Approximately 100 construction vehicle movements a day are expected to facilitate the construction activities, with peak vehicle movements anticipated between 7am – 3pm Monday to Friday.

Traffic management impacts associated with the proposed works will be addressed in a Traffic Management Plan. The DA was also referred to Transport for NSW for comment and recommended conditions will be imposed as condition of consent.

2.3.3 Flooding

The proposed development is within the Georges River catchment area; however, the site is not within the 100-year ARI flood extent, and as such is not impacted by flooding.

2.3.4 Acid Sulfate Soils

The site is mapped as Class 5 under the Acid Sulfate Soils Map in the Liverpool LEP 200. The Geotechnical and Environmental Investigation Report prepared by Golder Associates, outlines the results of soil testing at the site. Acid sulfate soils were not identified in the soil testing and an Acid Sulfate Soils Management Plan is not required for the site.

2.3.5 Contamination

A Preliminary Site Investigation identified that the site contains potential contaminants including uncontrolled filling, existing and former buildings on site, the former fire station and the adjacent mechanical workshop. The removal of Asbestos Containing Materials (ACM) in accordance with the EPA's standard requirements will be required prior to the commencement of works.

3. BACKGROUND

3.1 History of application

- DA was lodged on 13 December 2019
- DA was internally to Council's Engineering, Environmental Health, Traffic and Heritage Branches for comment, and referred externally to WaterNSW and Transport for NSW on 20 January 2020
- Notification of the DA from 20 January to 4 February 2020 – three responses received (two submissions and one request for time extension to provide submission)
- Initial comment from Transport for NSW dated 7 February 2020 requesting additional information
- Request for Information (RFI) letter dated 12 March 2020 was sent to applicant to address issues raised by Council's Environmental Health and Traffic Branches
- Additional information received from applicant on 15 April 2020 addressing RFI
- Final comments from WaterNSW received 11 May 2020
- Final comments from Transport for NSW received 12 May 2020

3.2 Site background – related applications

The proposed early works subject to this DA and assessment are associated with a Concept DA for the site (DA585/2019). The early works DA will prepare the site for the future mixed-use precinct also known as Liverpool Civic Place, detailed in Concept DA (DA/585/2019).

Summary of relevant history of the subject site:

- A Concept DA (DA-1259/2016) was lodged on 21 December 2016 by Council for the following:
 - A new 4 storey information and education facility (public library)
 - An 11-storey public administration building (Council office)
 - Two x 31 storey mixed use residential towers
 - Basement and above ground parking, through site links and public open space

DA-1259/2016 did not include the three eastern lots which were later procured by Council.

- Council withdraws DA-1259/2016 following the acquisition of the three eastern lots and the gazettal of Liverpool LEP 2008 Amendment 52 which provided incentive planning controls (height and FSR) under Clause 7.5A for certain sites within Liverpool City Centre if certain criteria within the clause are met.
- A Concept DA (DA-585/2019) was lodged on 20 September 2019 taking into account the additional site area and Clause 7.5A. No residential uses are proposed.

- A briefing to the Sydney Western City Planning Panel occurred on the 10 February 2020 and 14 April 2020 in relation to the Concept DA. The Concept DA is currently under assessment and has not yet been determined.

4. DETAILS OF THE PROPOSAL

Development consent is sought for the early works to prepare the site for future development at 52 Scott Street, Liverpool, including:

- Demolition of all existing structures on land at 52 Scott Street, 40-46 Scott Street and 64 Scott Street;
- Bulk earthworks to a maximum depth of RL 10.35, including shoring using piles, on land at 52 Scott Street, 40-46 Scott Street, 48 Scott Street and 64 Scott Street; and
- Removal of seven (7) trees as offsite works, including six (6) trees on an adjacent site at 306-310 Macquarie Street.

4.1 Demolition works

The development application seeks consent for the demolition of;

- Two-storey commercial building fronting Scott Street;
- Above ground car parking structure and at grade car park fronting Terminus Street; and
- Two-storey retail building fronting Scott Street.

Existing utilities services will be removed or relocated prior to the commencement of demolition works. It is proposed that the smaller commercial development to the east of the site will be demolished first to provide space for a site office and vehicle parking/set down area. This will be followed by demolition of the larger commercial building and the car park. All demolition materials will be removed from site. Refer to Demolition Plan at **Figure 7**.

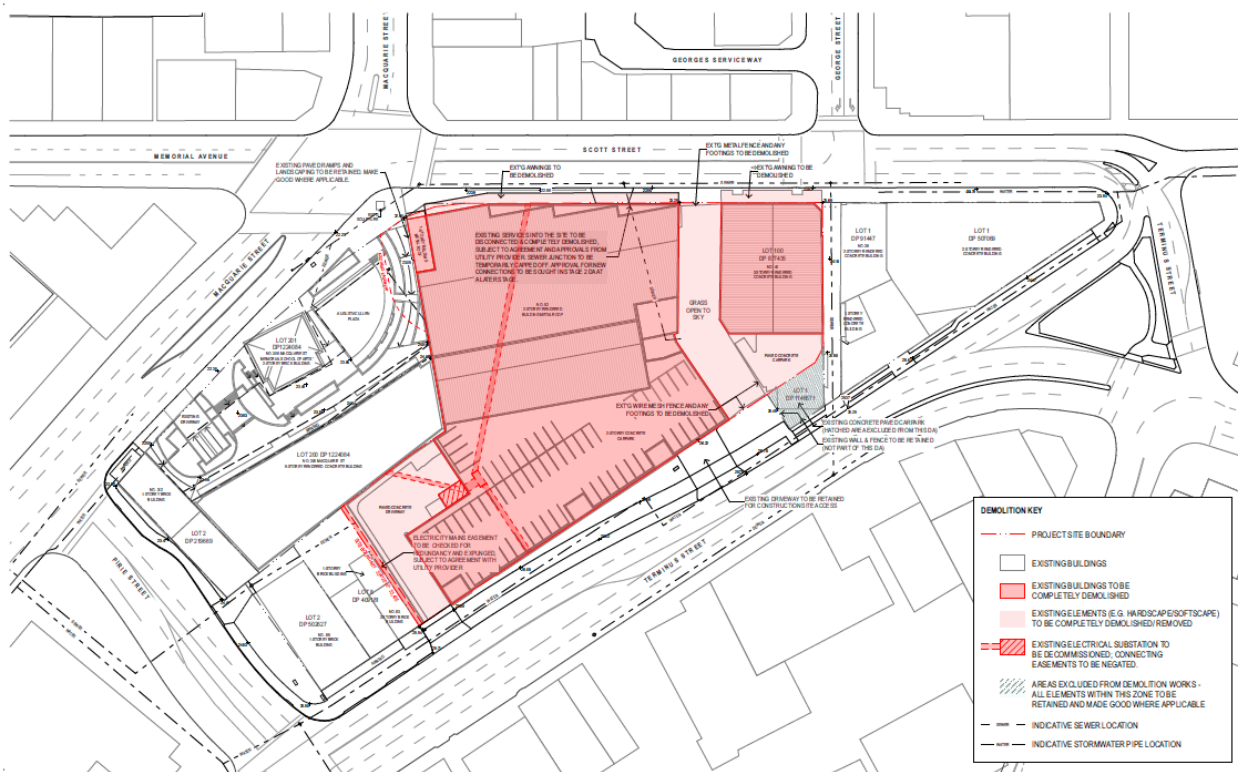


Figure 7: Demolition Plan

Source: FJMT

4.2 Earthworks

Excavation works are proposed for land at 52 Scott Street, 40-46 Scott Street, 48 Scott Street and 64 Scott Street. No excavation works proposed for 306-310 Macquarie Street.

Excavation will be to a maximum depth of RL 10.35. The groundwater level is at RL17.5. Excavation will be 7.15m below the groundwater level. Approval from the NSW Office of Water under Section 91 of the *Water Management Act 2000* is required.

Shoring (through the use of piles) is proposed to serve as a retention system and support adjacent structures as the site is excavated.

The basement walls for future development (subject to Concept DA-585/2019) will be constructed using a piled shoring solution. Construction of the shoring system forms part of this DA. Once the piling is complete, the basement will be excavated, and surplus material removed from site.

Excavation for the future basement will be approximately 7m below the groundwater level. Groundwater seepage into the excavation site will need to be managed. Groundwater will be controlled by perimeter and subfloor drainage connected to a sump and pump system. Construction of the basement does not form part of this DA and will be subject to a separate detailed DA.



Figure 8: Bulk Earthworks Plan

Source: Wood and Grieve

4.3 Tree Removal

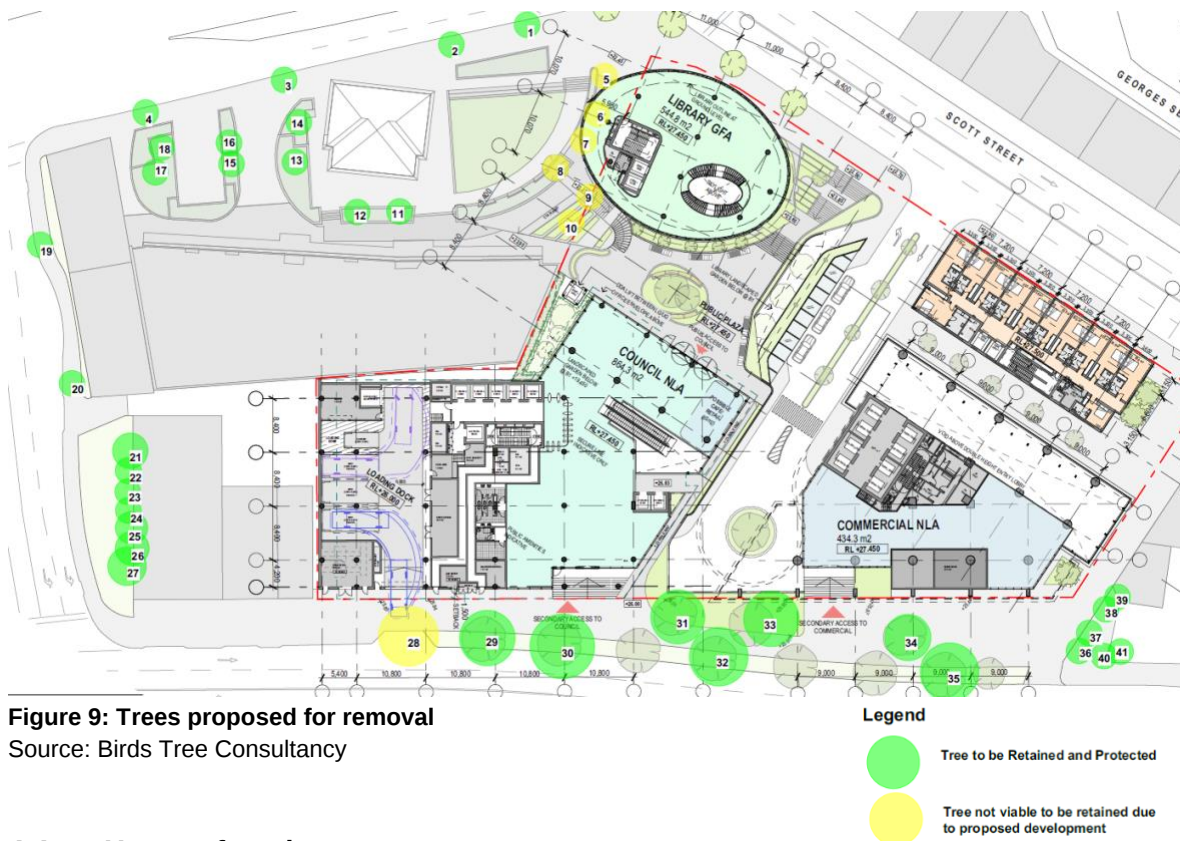
Seven trees are proposed to be removed as off-site works, including;

- Four (4) x *pyrus calleryana*;
- Two (2) x *lagerstroemia indica*; and
- One (1) x *populus delotides*.

Six (6) trees are proposed to be removed from 306-310 Macquarie Street (Lot 201 DP 1224084) and one (1) from the southern site boundary on Terminus Street.

The Arboricultural Development Impact Assessment Report prepared by Birds Tree Consultancy dated 22 November 2019 recommends the removal of seven trees and the retention of 34 trees. The removal of seven trees is required to facilitate future development proposed in Concept DA (DA5858/2019).

The Arboricultural Development Impact Assessment Report includes tree protection measures for the 34 trees to be retained. The requirement for works to be undertaken in accordance with the recommendations in this report, will be imposed as condition of consent.



4.4 Hours of work

In accordance with the Construction Noise Guideline, demolition work will be undertaken in the hours:

- Monday to Friday – 7am – 6pm;
- Saturday – 8am – 1pm; and
- Sunday and Public Holidays – No works to be undertaken.

It is estimated that the duration of the construction works will be 13 months.

4.5 Waste management

A preliminary Waste Management Plan (WMP) was prepared for the proposed works. The Waste Management Plan provides estimates of the amount of waste to be generated on site and details the materials that will be excavated. Waste will be classified, managed and removed in accordance with the Waste Management Plan. The requirement for a final Waste Management Plan, will be imposed as a condition of consent.

4.6 Construction Staging

The staging strategy seeks flexibility for the Stage 1 early works to progress ahead of the Stage 2 works. This is consistent with the staging strategy for the Concept DA which is divided into two stages, being Stage 1 (Council's assets) and Stage 2 (Developer assets).

The applicant is seeking to stage the Construction Certificates (CC) in the following phases:

- CC 1: Demolition of entire site;
- CC 2: Excavation and piling of Stage 1 site (possible public domain embellishments to Stage 2 site in the event Stage 1 proceeds in advance of Stage 2. Note: this would be subject to separate approvals process); and
- CC 3: Excavation and piling of Stage 2 site.

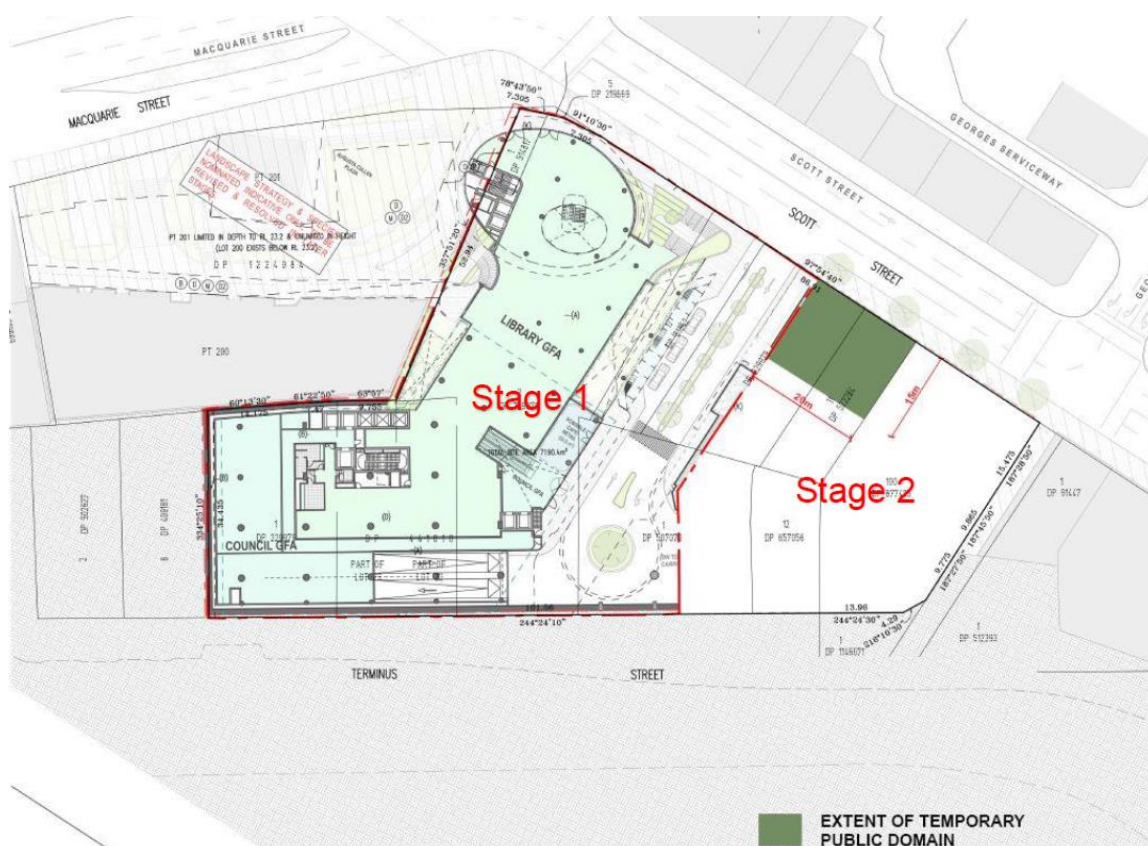


Figure 10: Staging plan

Source: FJMT

5. STATUTORY CONSIDERATIONS

5.1 Relevant matters for consideration

The following Environmental Planning Instruments, Development Control Plans and Codes or Policies are relevant to this application:

Legislation

- *Environmental Planning and Assessment Act 1979*
- *Water Management Act 2000*
- *Roads Act 1993*

Environmental Planning Instruments (EPI's)

- *State Environmental Planning Policy No.55 – Remediation of Land;*
- *State Environmental Planning Policy (State and Regional Development) 2011;*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017;*
- *State Environmental Planning Policy (Infrastructure) 2007;*
- *Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment;*
- *Liverpool Local Environmental Plan 2008.*

Development Control Plans

- *Liverpool Development Control Plan 2008*
 - Part 1 – Controls applying to all development
 - Part 4 – Development in Liverpool City Centre

6. ASSESSMENT

The DA is integrated development in accordance with Section 4.46 (1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

Clause 4.46 (1) of the EP&A Act states:

(1) Integrated development is development (not being State significant development or complying development) that, in order for it to be carried out, requires development consent and one or more of the following approvals—

- *Water Management Act 2000 – ss 89, 90, 91 – water use approval, water management work approval or activity approval under Part 3 of Chapter 3.*

The proposed works include excavation below the groundwater level and will require approval for water supply works under the *Water Management Act 2000*.

Water NSW has provided General Terms of Approval (GTA) on 5 May 2020. The GTA issued by WaterNSW do not constitute an approval under the *Water Management Act 2000*. The applicant must apply to WaterNSW for the relevant approval after development consent has been issued and before the commencement of any work or activity.

The requirement to obtain approval from WaterNSW prior to the commencement of any work, will be included as a condition of consent.

6.1 Section 4.15(1)(a)(1) – Any Environmental Planning Instrument

(a) State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55)

The objectives of SEPP 55 are:

- *to provide for a state-wide planning approach to the remediation of contaminated land.*
- *to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment.*

Pursuant to the above SEPP, Council must consider:

- whether the land is contaminated.
- if the land is contaminated, whether it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the proposed use.

Comment: The site contains potential contaminants but can be made suitable for the proposed development and future uses consistent with the requirements of SEPP 55.

An Asbestos Management Plan (AMP) will be required to be prepared prior to the commencement of earthworks. This will be subject to a condition of consent.

It is considered that based on the imposition of suitable conditions, that the proposal is consistent with SEPP 55 and will be made suitable for the proposed development.

(b) State Environmental Planning Policy (Infrastructure) 2007

The subject site has a frontage to Terminus Street and part of the site is reserved for acquisition for the purpose of widening Terminus Street, a classified road. As such the proposal must be considered under the relevant provisions of the State Environmental Planning Policy (Infrastructure) 2007 (Infrastructure SEPP).

Specifically, the following clauses have been considered during the assessment of the proposal.

- **Clause 100 Development on proposed classified road**

Development on land reserved for a classified road (with a value of more than \$185,000) requires concurrence of Transport for NSW (RMS).

(1) Consent for development for any of the following purposes on land reserved for the purposes of a classified road (but before the land is declared to be a classified road) may be granted only with the concurrence of the chief executive officer of RMS—

(b) development with a capital investment value greater than \$185,000,

- **Clause 101 Development with frontage to classified road**

(1) The objectives of this clause are:

(a) to ensure that new development does not compromise the effective and ongoing operation and function of classified roads, and

(b) to prevent or reduce the potential impact of traffic noise and vehicle emission on development adjacent to classified roads.

(2) The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that:

(a) where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and

(b) the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of:

(i) the design of the vehicular access to the land, or

(ii) the emission of smoke or dust from the development, or

(iii) the nature, volume or frequency of vehicles using the classified road to gain access to the land, and

(c) the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road

Comment: The DA was referred to Transport for NSW in accordance the provisions of the Infrastructure SEPP. Transport for NSW has reviewed the proposal and on 12 May 2020 provided conditions to be imposed as a condition of consent.

This includes limiting access from Terminus Street to left-in only and the requirement for all demolition and construction vehicles to be contained wholly within the site. A construction zone will not be permitted on Terminus Street. Transport for NSW will require detailed stormwater drainage plans and excavation drawings to be submitted to Transport for NSW

and approved in prior to the commencement of any works.

(c) State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The aims of State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 (Vegetation SEPP), are to:

- (a) to protect the biodiversity values of trees and other vegetation in non-rural areas of the State, and*
- (b) to preserve the amenity of non-rural areas of the State through the preservation of trees and other vegetation.*

Section 9(1) of the Vegetation SEPP establishes that the SEPP applies to any vegetation declared in a development control plan. In accordance with the tree preservation provisions in the Liverpool DCP 2008, approval is required for the proposed removal of seven trees.

The trees are not identified as having significance or high retention value and will be offset by a comprehensive landscaping strategy as part of any future development on the site. Therefore, the proposal is consistent with the Vegetation SEPP.

(d) Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment (deemed SEPP).

The Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment generally aims to maintain and improve the water quality and river flows of the Georges River and its tributaries.

When a consent authority determines a development application, the planning principles are to be applied (Clause 7(2)). Accordingly, a table summarising the matters for consideration in determining development application (Clause 8 and Clause 9), and compliance with such is provided below.

Clause 8 General Principles	Comment
When this Part applies the following must be taken into account:	Planning principles are to be applied when a consent authority determines a development application.
(a) the aims, objectives and planning principles of this plan	The plan aims generally to maintain and improve the water quality and river flows of the Georges River and its tributaries. The proposal is consistent with the aims of the Plan.
(b) the likely effect of the proposed plan, development or activity on adjacent or downstream local government areas	The proposal provides soil and erosion control measures. The proposed development is not considered to create a detrimental impact on an adjacent downstream local government area.

(c) the cumulative impact of the proposed development or activity on the Georges River or its tributaries	The proposed excavation works are not considered to have a detrimental impact on the Georges River or its tributaries. The requirement for an Excavation Environmental Management Plan will be imposed as a condition of consent.
d) any relevant plans of management including any River and Water Management Plans approved by the Minister for Environment and the Minister for Land and Water Conservation and best practice guidelines approved by the Department of Urban Affairs and Planning (all of which are available from the respective offices of those Departments)	The site is located within an area covered by the Liverpool District Stormwater Management Plan, as outlined within Liverpool City Council Water Strategy 2004.
(e) the <i>Georges River Catchment Regional Planning Strategy</i> (prepared by, and available from the offices of, the Department of Urban Affairs and Planning)	The imposition of suitable conditions and mitigation measures, will ensure the proposed development will not affect the diversity of the catchment.
(f) all relevant State Government policies, manuals and guidelines of which the council, consent authority, public authority or person has notice	Water NSW has been notified of this proposal and has provided general terms of approval.
(g) whether there are any feasible alternatives to the development or other proposal concerned	The site is located in an area nominated for mixed-use development. The proposed works will prepare the site for future mixed-use development, which is considered the most appropriate and feasible form of development on the site.

Clause 9 Specific Principles	Comment
(1) Acid sulfate soils	The site is mapped as Class 5 Acid Sulfate Soils under the LLEP 2008. However, soil testing did not identify acid sulfate soils and an Acid Sulfate Soils Management Plan is not required.
(2) Bank disturbance	No disturbance of the bank or foreshore along the Georges River and its tributaries is proposed.
(3) Flooding	The proposed development is not impacted by flooding.
(4) Industrial discharges	Not applicable.
(5) Land degradation	An Excavation Environmental Management Plan (including an site soil management plan) will minimise erosion and sediment loss.

(6) On-site sewage management	Not applicable.
(7) River-related uses	Not applicable.
(8) Sewer overflows	Not applicable.
(9) Urban/stormwater runoff	The proposal is for site preparation and early works only. The proposal will not contribute to an increase in urban/stormwater runoff. Suitable conditions will be imposed to manage the site during the works.
(10) Urban development areas	The site is not identified as being located within the South West Growth Centre within the Metropolitan Strategy. The site is not identified as being an Urban Release Area under LLEP 2008.
(11) Vegetated buffer areas	Not applicable.
(12) Water quality and river flows	Not applicable
(13) Wetlands	Not applicable.

It is considered that the early works DA satisfies the provisions of the GMREP No.2.

(d) Liverpool Local Environmental Plan 2008

(i) Permissibility

The site is zoned B4 mixed use pursuant to the Liverpool Local Environmental Plan 2008. Earthworks are permissible in the B4 Mixed Use zone. Demolition is permissible with consent under Clause 2.7 of the Liverpool LEP 2018.



Figure 11: Land Use Zoning Map

Source: NSW Planning Portal

(ii) Zone Objectives

The objectives of the B4 zone are as follows:

- *To provide a mixture of compatible land uses.*
- *To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.*
- *To allow for residential and other accommodation in the Liverpool city centre, while maintaining active retail, business or other non-residential uses at street level.*
- *To facilitate a high standard of urban design, convenient urban living and exceptional public amenity.*

The proposed works would prepare the site for a future mixed-use development, which is permissible in the B4 Mixed Use zone. Therefore, it is considered that proposed works are consistent with the objectives of the zone.

Earthworks are permissible with consent in the B4 Mixed Use zone. Clause 2.7 of the Liverpool LEP 2008 allows demolition to be carried out with development consent.

(iii) Principal Development Standards

The LLEP 2008 contains a number of principal development standards, which are discussed with respect to the proposal as follows:

Clause	Provision	Comment
Clause 2.7 - Demolition	Demolition may be carried out only with development consent.	The proposed application seeks development consent for demolition works in accordance with Clause 2.7 of LLEP 2008.
Clause 4.3	Height of buildings	Not applicable
Clause 4.4	Floor Space Ratio	Not applicable
Clause 7.31 – Earthworks	a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality, b) the effect of the proposed development on the likely future use or redevelopment of the land, c) the quality of the fill or the soil to be excavated, or both, d) the effect of the proposed development on the existing and likely amenity of adjoining properties, e) the source of any fill material and the destination of any excavated material, f) the likelihood of disturbing relics, g) the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area	The proposal seeks consent for earthworks in accordance with Clause 7.31 of LLEP 2008. In accordance with the requirements of this Clause, a Construction Management Plan has been provided. The Plan outlines how earthworks will be undertaken to minimise disruption and environmental impacts. Any impacts associated with the proposed earthworks will be managed by the imposition of suitable conditions of consent. This includes the requirement for an Excavation Environmental Management Plan to manage all potential environmental impacts associated with the proposed excavation and site works. A Noise and Vibration Management Plan will minimise amenity impacts on adjoining properties and will be imposed as a condition of consent.

(iv) Other Relevant LLEP 2008 Clauses

In addition to the above development standards, the application has also been considered in regard to other relevant standards of the LLEP 2008. The key clauses applicable to the application are discussed in further detail below.

- **Clause 5.10 Heritage Conservation**

The site is not listed as a heritage item in the Liverpool LEP 2008 but is located within the immediate vicinity of a heritage item.

The site is adjacent to heritage item 199, the 'Memorial School of Arts', a building of local heritage significance identified under Schedule 5 of the LLEP 2008.

The proposed works will not result in any adverse impacts to the Memorial Schools of Arts as all demolition and excavation works will be contained within the site. The proposed off-site tree removal is not considered to have any adverse impacts on the heritage significance of the Memorial School of Arts.

The buildings and structures proposed to be removed on site are not identified as having any heritage significance and the demolition of these buildings is considered acceptable.

Council's Heritage Officer has reviewed the proposal and confirms that the proposed works will not have a direct impact on any heritage listed items. Council's Heritage Officer has no objection to the proposed works, subject to conditions.

- **Clause 7.7 Acid Sulfate Soils**

The site is mapped as Class 5 under the Acid Sulfate Soils Map in the LEP; however, preliminary site investigations undertaken by the applicant have determined that an Acid Sulfate Soils Management Plan is not required for the site.

- **Clause 7.8 Flood Planning**

The proposed development is within the Georges River catchment area; however, the site is not within the 100-year ARI flood extent. The early works will not be impacted by flooding.

6.2 Section 4.15(1)(a)(ii) - Any Draft Environmental Planning Instrument

No applicable draft Environmental Planning Instruments.

6.3 Section 4.15(1)(a)(iii) - Provisions of any Development Control Plan

Part 1 - General Controls for all Development and Part 4 - Development in The Liverpool City Centre of the Liverpool Development Control Plan apply to the proposed development and prescribe standards and criteria relevant to the proposal.

The following compliance table outlines compliance with the relevant controls in the Development Control Plan.

LDCP 2008 Part 1: General Controls for All Development

Development Control	Provision	Comment
Section 2. Tree Preservation	Controls relating to the preservation of trees	The proposal includes the removal of seven trees as off-site works. The removal of seven trees is required to facilitate future development proposed in Concept DA (DA5858/2019). The removal of the trees is considered justified and will be offset with new tree plantings as part of a comprehensive landscaping plan associated with the Concept DA for the site. Suitable conditions for the removal and retention of trees will be imposed as a condition of consent.
Section 3. Landscaping and Incorporation of Existing Trees	Controls relating to landscaping and the incorporation of existing trees.	No landscaping works are proposed as part of the DA. The DA is seeking approval for off-site works, involving the removal of 7 trees.
Section 8. Erosion and Sediment Control	Erosion and sediment control plan to be submitted.	An Erosion and Sediment Control Plan has been prepared and appropriate conditions will be imposed to ensure adequate erosion and sediment control as part of the proposed works
Section 9. Flooding Risk	Provisions relating to development on flood prone land.	The subject site is not identified as flood prone land.
Section 10. Contaminated Land Risk	Provisions relating to development on contaminated land.	The site contains potential contaminants but can be made suitable for the proposed development and future uses consistent with the requirements of SEPP 55. Council's Environmental Health Branch have reviewed the proposed works and raise no objections, subject to conditions. The preparation of an Excavation Environmental Management Plan will be a condition of consent. This Plan will address all environmental aspects of the proposed works and include an Asbestos Management

		Plan and Unexpected Finds Protocol. The removal of Asbestos Containing Materials (ACM) and/or remediation of the site in accordance with the EPA's standard requirements will be required prior to the commencement of works.
Section 11. Salinity Risk	Provisions relating to development on saline land.	The development site is identified as containing a low salinity potential. A salinity management response plan is not required.
Section 12. Acid Sulphate Soils	Provisions relating to development on acid sulphate soils	The site is mapped as Class 5 under the Acid Sulfate Soils Map of the LLEP 2008. The site is within an area of no known occurrence of Acid Sulfate Soils and soil testing did not identify acid sulfate soils on the site. An Acid Sulfate Soils Management Plan is not required.
Section 14. Demolition of Existing Development	Provisions relating to demolition works	All demolition will be conducted in accordance with the relevant Australian standards and suitable conditions will be imposed for the demolition works, including Waste Management Plan and Dust Management Plan. Demolition works will be undertaken in accordance with hours specified in the DCP. This will be a condition of consent.
Section 16. Aboriginal Archaeology	An initial investigation must be carried out to determine if the proposed development or activity occurs on land potentially containing an item of aboriginal archaeology.	There is a low risk of Aboriginal objects being located at the site; however, there is potential for isolated finds even in disturbed contexts. A condition of consent will be imposed to manage any potential unexpected finds during construction.
Section 17. Heritage and Archaeological Sites	Provisions relating to heritage sites.	There are no heritage items located on the site; however, the site was investigated for archaeological potential. Further archaeological assessment is required to be

		undertaken prior to the commencement of works. The completion of testing and the issuing of any permits is to be undertaken prior to commencement of works and will be imposed as a condition of consent.
Section 18. Notification of Applications	Provisions relating to the notification of applications.	The development application was advertised for a period of 15 days between 20 January 2020 to 4 February 2020, in accordance with Liverpool Development Control Plan 2008 (LDCP 2008). Two submissions were received during the exhibition period.
Section 25. Waste Disposal and Re-use Facilities	Provisions relating to waste management during construction and on-going waste.	Suitable conditions to be imposed regarding the removal waste from the site. A Waste Management Plan will be a condition of consent.

LDCP 2008 Part 4: Liverpool City Centre

The proposal was also considered against the provisions of the LDCP 2008, Part 4 – Development in Liverpool City Centre. The proposal is for early works only and does not include any development on the site.

Therefore, it is considered that the proposal is consistent with the controls outlined in the Liverpool Development Control Plan 2008.

6.4 Section 4.15(1)(a)(iiia) - Any Planning Agreement or any Draft Planning Agreement

No planning agreement relates to the site or proposed development.

6.5 Section 4.15(1)(a)(iv) – The Regulations

Section 92 of the EP&A Regulation sets out additional matters to be considered by the consent authority. Section 92 (1) (b) provides that in the case of a development application for the demolition of a building, the provisions of AS 2601 must be considered.

Suitable conditions will be imposed to ensure demolition is undertaken in accordance with the relevant Australian Standard. The proposed development is consistent with the provisions of the EP&A Regulation.

6.6 Section 4.15(1)(a (v) – Any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates

There are no coastal zone management plans that apply to the site.

6.7 Section 4.15(1)(b) – The Likely Impacts of the Development

(a) Natural and Built Environment

Built Environment

It is considered the proposal is unlikely to create any detrimental impacts on the surrounding built environment. All works will be contained within the site, with the exception off-site works which are limited to tree removal only.

Natural Environment

The proposed development is not considered to have a detrimental impact on the existing natural environment.

(b) Social Impacts and Economic Impacts

The proposed development is unlikely to generate any detrimental social impacts.

The proposed development would result in a positive economic impact through the capital investment value of the development and employment opportunities generated by the development.

6.8 Section 4.15(1)(c) – The Suitability of the Site for the Development

There are no significant natural or environmental constraints that would hinder the proposed development. Accordingly, the site is considered suitable for the proposed development.

6.9 Section 4.15(1)(d) – Any submissions made in relation to the Development

(a) Internal Referrals

The following comments have been received from Council's Internal Departments:

Department	Comments
Engineering	Application considered acceptable subject to conditions of consent.

Heritage Advisor	Application considered acceptable subject to conditions of consent.
Traffic and Transport	Application considered acceptable subject to conditions of consent.
Environmental Health	Application considered acceptable subject to conditions of consent.

(b) External Referrals

The following comments have been received from External agencies:

Authority	Comments
Transport for NSW	Transport for NSW has reviewed the proposal and provided conditions to be imposed as a condition of consent.
Water for NSW	WaterNSW have provided General Terms of Approval. Note, the General Terms of Approval issued by WaterNSW do not constitute an approval under the <i>Water Management Act 2000</i> . Approval is required under the <i>Water Management Act 2000</i> and must be obtained prior to any works on site.

b) Community Consultation

The development application was placed on public exhibition from 20 January 2020 to 4 February 2020, in accordance with Liverpool Development Control Plan 2008 (LDCP 2008).

Two submissions (and one request for an extension of time) were received during the exhibition period. The concerns raised in the submission and the response to the submissions are provided below;

Parking

Increased parking is to be provided in the Liverpool CBD to support local businesses.

Comment: All construction and contractor vehicles will be contained on site. Parking around the site will not be affected by the proposed works. The Traffic Management Plan (imposed as a condition of consent) will manage all potential traffic and parking impacts.

Noise

Concern regarding noise pollution from the early works site preparation onto nearby

businesses.

Comment: Suitable conditions have been imposed to mitigate noise impacts on surrounding properties. A Construction Noise and Vibration Assessment and Management Plan is required as a condition of consent.

Access

More information is to be provided on how hoarding on the site will hinder or affect access to adjacent sites and businesses.

Comment: Suitable conditions will be imposed to manage access arrangements to adjoining properties.

Hoarding

Clarification is needed on the hoardings effect on local businesses.

Comment: Suitable conditions imposed in relation to hoarding.

6.7 Section 4.15(1)(e) – The Public Interest

The proposal generally complies with the relevant planning controls and is considered to be in the public interest.

7 SECTION 7.12 CONTRIBUTIONS

Development contributions do not apply to this development.

8 RECOMMENDATION

That Development Application DA-906/2019 be approved subject to conditions of consent.

9 ATTACHMENTS

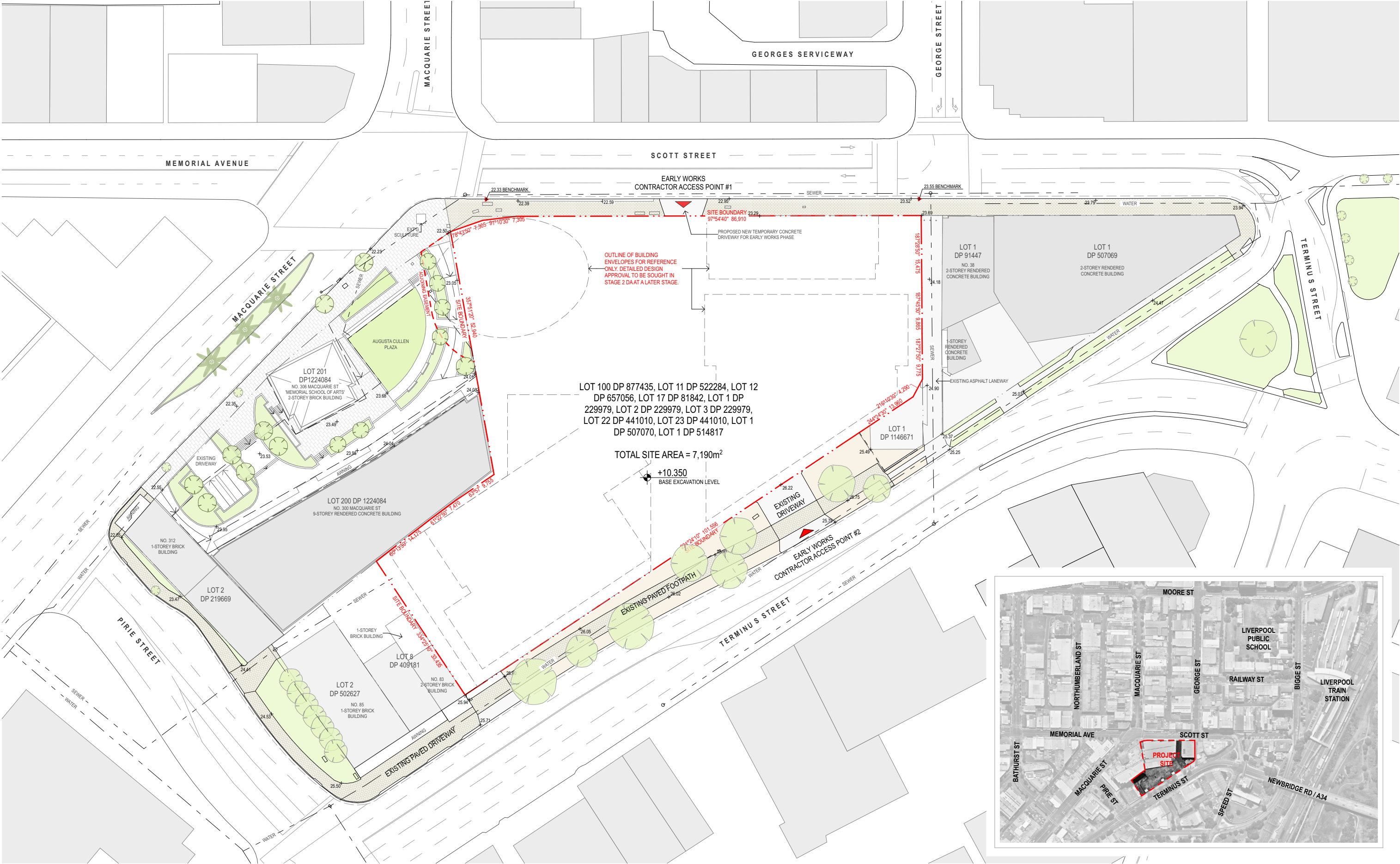
- 1) Demolition Plans
- 2) Civil Engineering Drawings
- 3) Site Survey
- 4) Construction Management Plan
- 5) Structural Report
- 6) Arboricultural Development Impact Assessment Report
- 7) Waste Management Plan
- 8) Preliminary Geotechnical Assessment
- 9) Preliminary Site Investigation
- 10) QS Report
- 11) Heritage Impact Statement

- 12) Hazardous Building Materials Assessment
- 13) Historical Archeological Assessment
- 14) Geotechnical and Environmental Investigation Report
- 15) Aboriginal Heritage Due Diligence Assessment
- 16) Construction Noise and Vibration Management Plan
- 17) Contamination, Ecological and Flood Report
- 18) Water NSW Cover Letter and General Terms of Approval (GTAs), dated 5 May 2020
- 19) Transport for NSW Response, dated 12 May 2020
- 20) Applicant's Response to Council's Request for Additional Information, dated 14 April 2020
- 21) Applicant's Response to Council's Request for Additional Information, dated 27 April 2020
- 22) Conditions of Consent

PPSSWC-67 – Liverpool City Council – DA-906/2019 – 40-46, 48, 52 and 64 Scott Street, Liverpool
NSW 2170

Known as 52 Scott Street, Liverpool ('Liverpool Civic Place') – Early works DA

PLANS



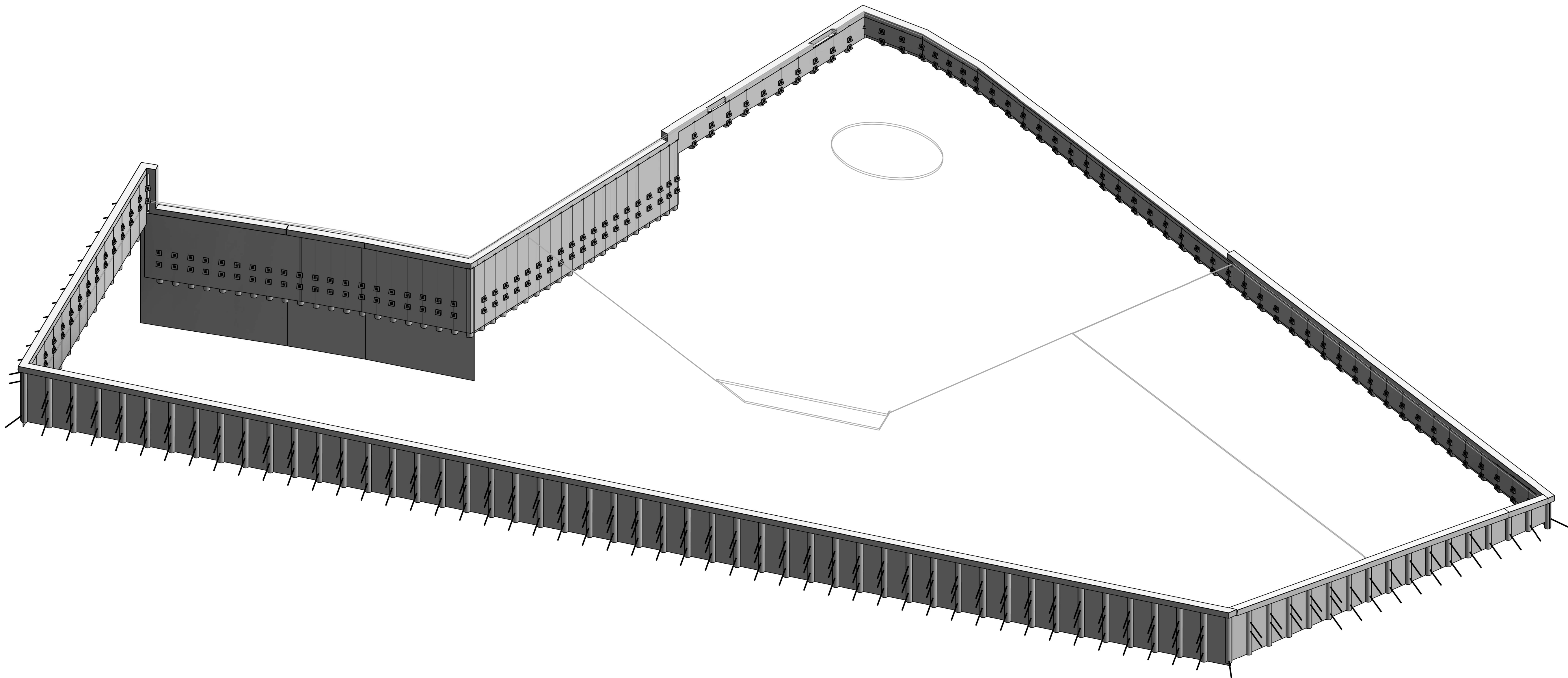
Early Works DA - Location Plan & Site Plan

BUILT - LIVERPOOL CIVIC PLACE

LIVERPOOL CIVIC PLACE

52 SCOTT STREET, LIVERPOOL, NSW, 2170

EARLY WORKS PACKAGE



DRAWING LIST	
SHEET No.	SHEET NAME
00000	COVER SHEET
00001	NOTES SHEET 1
01010	SHORING SURVEY PLAN
01110	SHORING GENERAL ARRANGEMENT PLAN OPTION 1
01122	SHORING GENERAL ARRANGEMENT PLAN OPTION 2
01150	SHORING LOADING PLAN
01211	SHORING WALL ELEVATIONS SHEET 1
01212	SHORING WALL ELEVATIONS SHEET 2
01311	TYPICAL SHORING DETAILS SHEET 1
01312	TYPICAL SHORING DETAILS SHEET 2
01313	TYPICAL SHORING DETAILS SHEET 3
01321	SHORING SECTIONS SHEET 1

P2	EARLY WORKS INFORMATION ONLY	ST	CA	28.11.19
P1	EARLY WORKS INFORMATION ONLY	ST	CA	25.11.19
Rev	Revision Description	By	App	Date
00000	1	1	1	1

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Source: Civil & Construction
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Project
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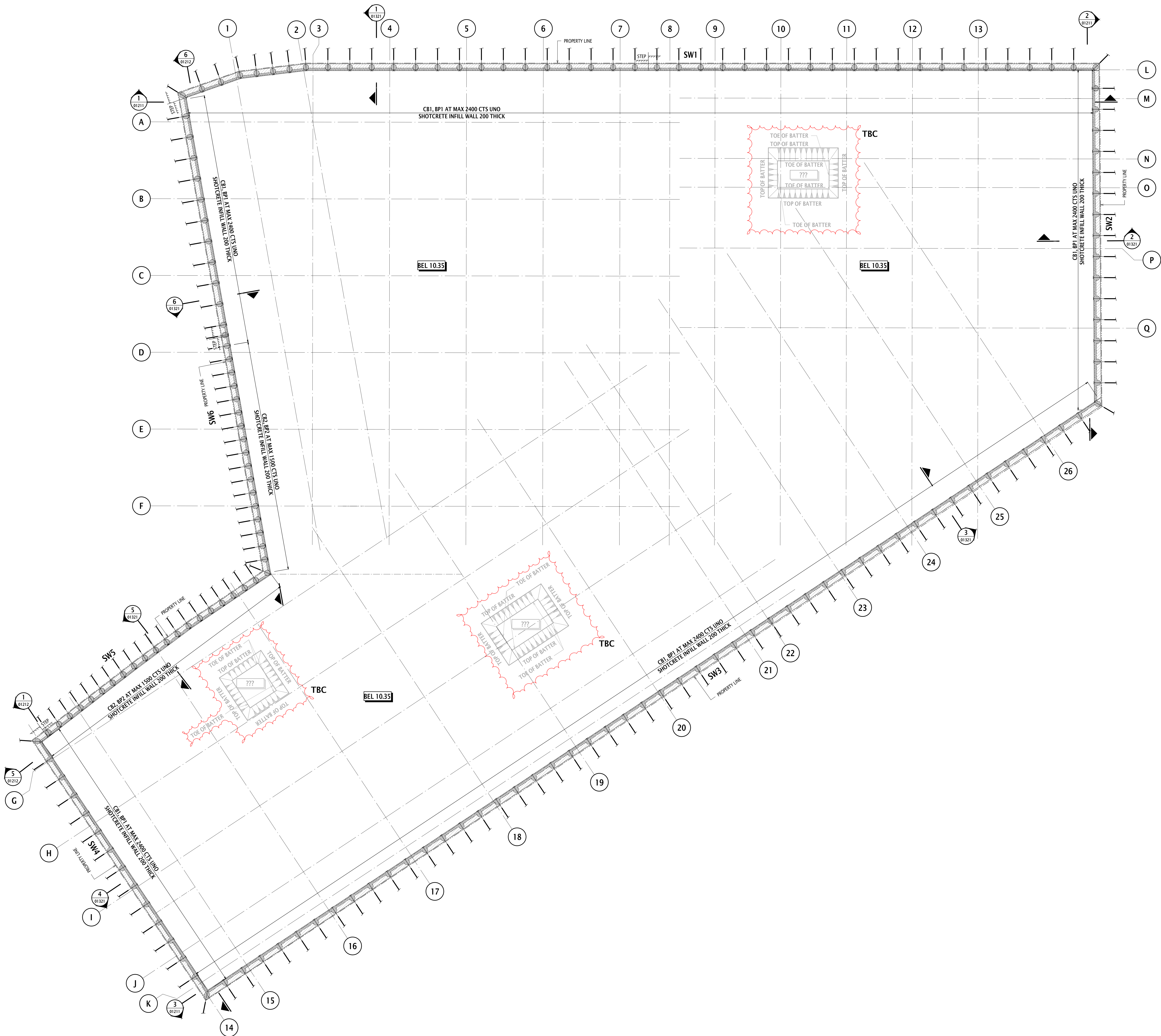
Title
COVER SHEET

Date	01.11.19	Drawn	S.TRIMARCHI
Scale	as shown	Designed	M.MOGHADDASI
1:200		Design Checker	
Job Number	19280	Approved	G.ANDRIANAKOS

NOT FOR CONSTRUCTION

Drawing Number
RBG-XX-XX-DR-ST-00000

Revision
P2



SHORING GENERAL ARRANGEMENT PLAN - OPTION 1
SCALE 1 : 150

BULK EARTHWORKS & RETENTION LEGEND:

- DENOTES SHOTCRETE WALL
- DENOTES BORED PIER AND TEMPORARY GROUND ANCHORS
- DENOTES SHORING WALL NUMBER
- MP DENOTES MONITORING POINT FOR NEW RETAINING WALL (TBC)
- MP* DENOTES MONITORING POINT TO ADJOINING BUILDING PARAPET (TBC)
- BH DENOTES APPROXIMATE LOCATION OF BOREHOLE & REFERENCE NUMBER REFER GEOTECHNICAL REPORT (TBC)
- BEL DENOTES BULK EXCAVATION LEVEL BASED ON ARCH LEVELS MINUS SUBGRADE AND SLAB DEPTH.

REFER DRAWING SERIES S00 FOR ALL RELEVANT SITE RETENTION AND EARTHWORKS NOTES

EXCAVATION NOTES:

1. LOCAL EXCAVATION FOR COLUMNS, PILE CAPS, AND STRIP FOOTINGS NOT SHOWN.
2. EXCAVATION SEQUENCE AND REQUIREMENTS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
3. GEOTECHNICAL ENGINEER TO INSPECT EXCAVATION.
4. INSPECTION PLAN TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

GENERAL NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL STEPS IN CAPPING BEAMS UNO.
2. ALL IN GROUND SERVICES LOCATIONS AND EXISTING FOOTINGS TO BE CONFIRMED BY BUILDER PRIOR TO ANY ANCHOR INSTALLATION WORKS. CONTRACTOR TO ENSURE THAT ALL ANCHOR LOCATIONS ARE CLEAR OF EXISTING SERVICES AND FOOTINGS. CLEARANCE TO BE 1600 MIN. AND/OR IN ACCORDANCE WITH THE RELEVANT SERVICES AUTHORITIES SPECIFICATIONS.
3. PILE AND TEMPORARY ANCHORS SYSTEM DESIGN TO BE ADJUSTED TO PREVENT CLASH WITH ANY ADJACENT FOOTINGS AND SERVICES.
4. REFER TO SHORING WALL ELEVATION DRAWINGS FOR RELEVANT SCHEDULES (TBC).

CONCRETE NOTES : REFER NOTES ON COVER SHEET MIN CONC. STRENGTH AT 28 DAYS

LOCATION	Pc
SHOTCRETE	40MPa
BORED PIER	40MPa
CAPPING BEAM	40MPa

CONCRETE COVER

LOCATION	COVER
BORED PIER	65mm
CAPPING BEAM	50mm
SHOTCRETE	65mm
- RETAINED SOIL SIDE	65mm
- EXCAVATION SIDE	30mm

STAGING NOTES:

1. RBG UNDERSTANDS THAT TWO BULK EXCAVATION OPTIONS ARE CONSIDERED BY BUILT AT THIS STAGE, INCLUDING:
 - OPTION 1 - BULK EXCAVATION UNDER THE WHOLE DEVELOPMENT;
 - OPTION 2 - DIVIDING THE BULK EXCAVATION INTO TWO STAGES.
2. THE TWO-STAGE EXCAVATION PROCESS WILL INCLUDE EXCAVATION UNDER THE LIBRARY AND COUNCIL BUILDINGS AS PART OF STAGE 1, AND EXCAVATION UNDER THE COMMERCIAL AND HOTEL BUILDINGS AS PART OF STAGE 2.
3. IF THE TWO-STAGE EXCAVATION IS CONSIDERED, STAGE 1 AND 2 SHALL BE SEPARATED EITHER BY CONSTRUCTING A TEMPORARY SHORING WALL (OPTION 2A) OR BATTERING THE SOIL TOWARDS STAGE 2 AS PER THE REQUIREMENTS SPECIFIED BY GEOTECHNICAL ENGINEER (OPTION 2B).

P1 EARLY WORKS (INFORMATION ONLY) ST CA 25.11.19

Rev	Revision Description	By	App	Date
01	1	1	1	1

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LIVERPOOL CIVIC PLACE

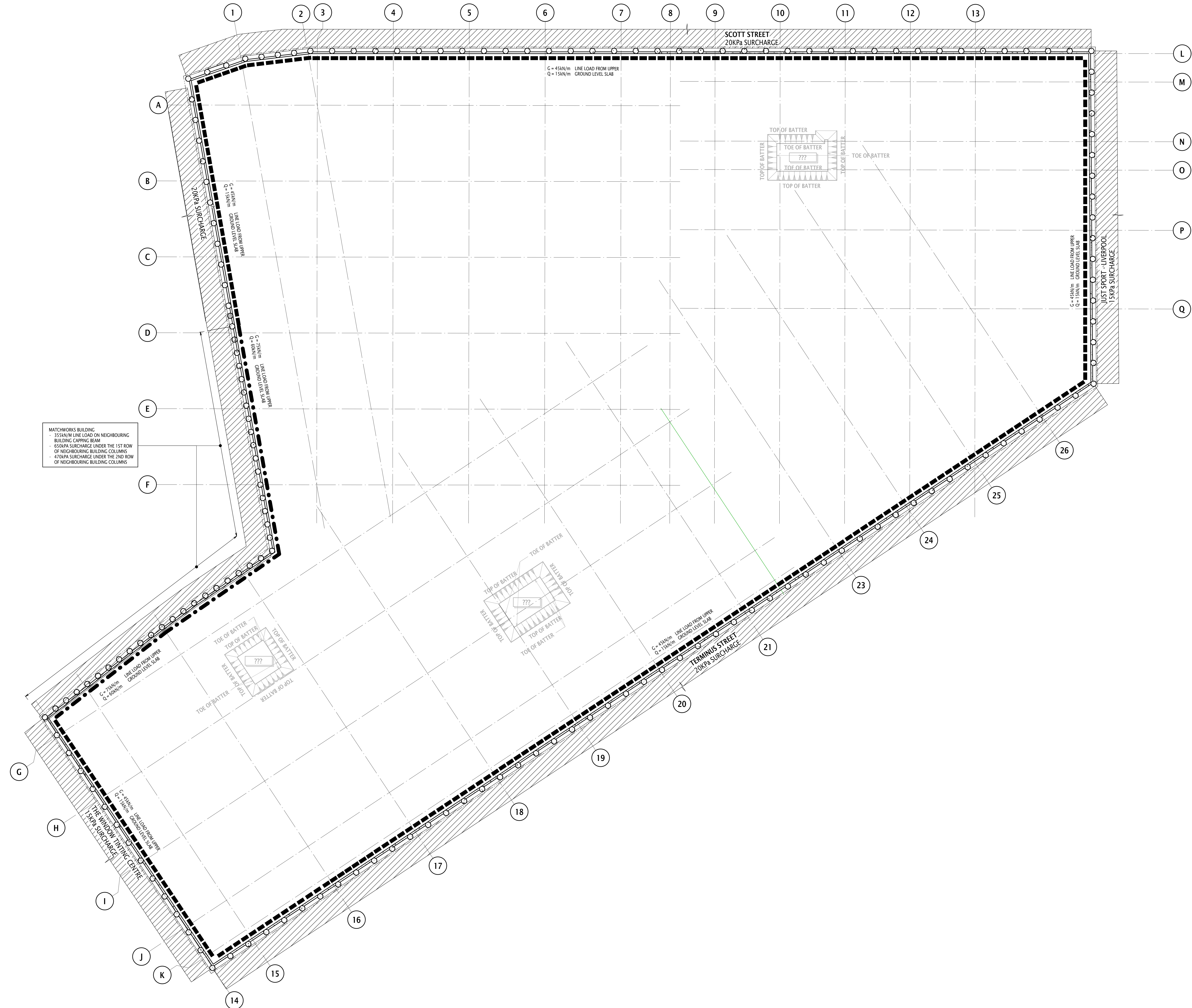
Title
**SHORING GENERAL ARRANGEMENT
PLAN
OPTION 1**

Date
01.11.19
Scale
as 40
1:150
Drawn
S.TRIMARCHI
Designer
M.MOGHADDASI
Design Checker
G.ANDRIANAKOS

Job Number
19280
Approved
G.ANDRIANAKOS

NOT FOR CONSTRUCTION

Drawing Number
RBG-XX-XX-DR-ST-01110
Revision
P1



SHORING LOADING PLAN
SCALE 1 : 150

NOTES :
1. NO LONG TERM LOADING FROM VERTICAL STRUCTURAL ELEMENTS ARE CONSIDERED TO LOAD THE RETENTION SYSTEM. THIS HAS BEEN A DIRECTION FROM THE CLIENT TEAM
2. THE FOUNDATION LOADS FROM MATCHWORKS BUILDING HAVE BEEN DISCUSSED WITH THE GEOTECHNICAL ENGINEERS AT A DESIGN MEETING HELD ON THE 30th NOVEMBER 2019

LEGEND :
- DENOTES SURCHARGE LOAD (kPa)
- DENOTES LINE LOAD (kN/m)

P1 EARLY WORKS (INFORMATION ONLY)										ST	CA	25.11.19
Rev	Revision Description	By	App	Date	Rev	Revision Description	By	App	Date			
1	1	1	1	1	1	1	1	1	1			

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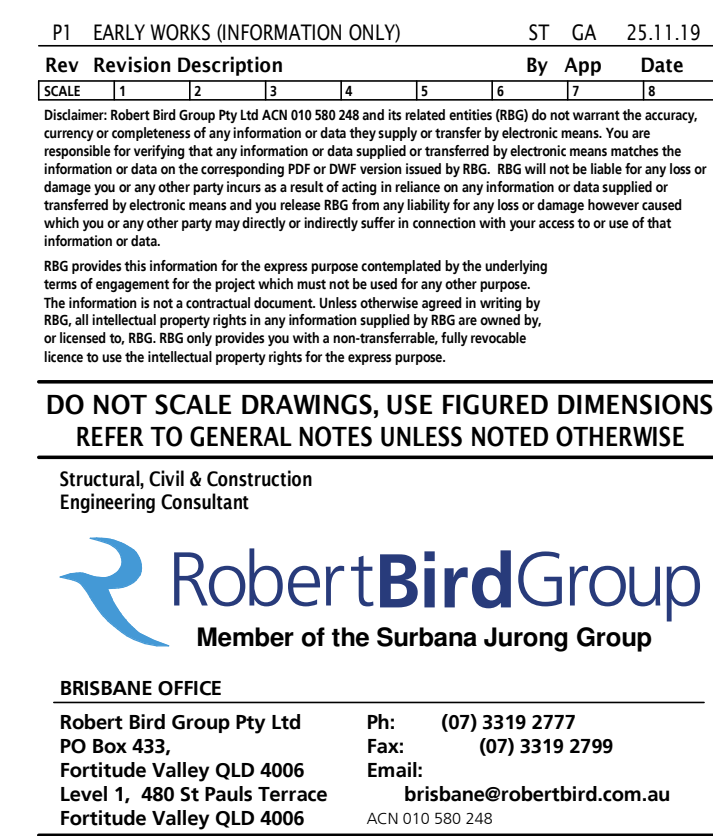
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01.11.19
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Job Number
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Drawing Number
RBG-XX-XX-DR-ST-01150

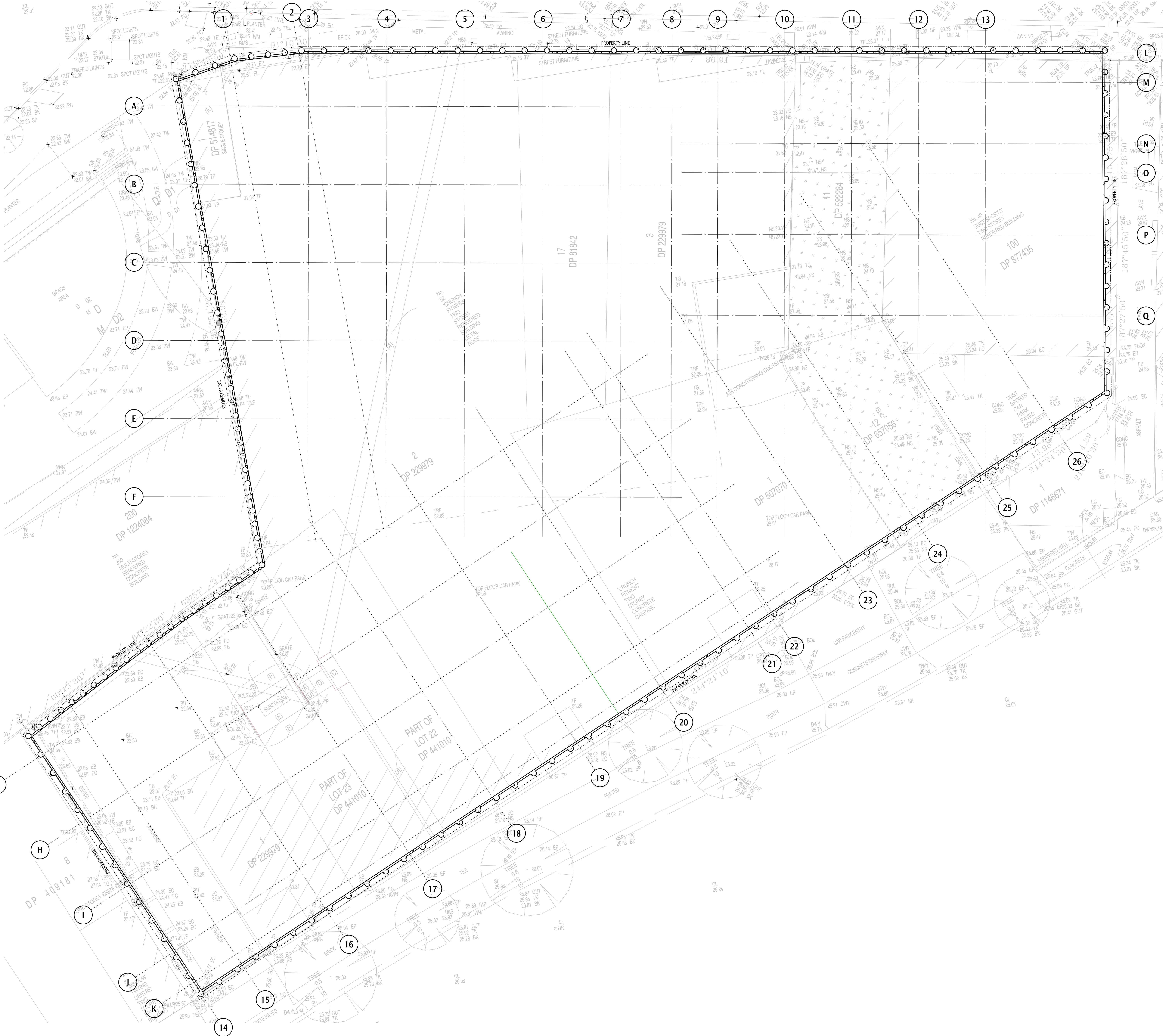
Drawn
S.TRIMARCHI
Designer
M.MOGHADDASSI
Design Checker
G.ANDRIANAKOS
Approved
G.ANDRIANAKOS

NOT FOR CONSTRUCTION

Revision



Drawing Number	Revision
RBG-XX-XX-DR-ST-01321	P1



SHORING SURVEY PLAN
SCALE 1:150

NOTES:
- SURVEY OVERLAY AS PER VERIS AUSTRALIA PTY LTD
SURVEY PLAN ISSUED 06.09.2019

Rev	Revision Description	By	App	Date
01	1	1	1	1

Rev 01: EARLY WORKS INFORMATION ONLY

ST CA 25.11.19

Rev 01: EARLY WORKS INFORMATION ONLY

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Client
BUILT PTY LTD

Project
LIVERPOOL CIVIC PLACE

Title
SHORING SURVEY PLAN

Date
01.11.19
Scale at 40
1:150

Drawn
S.TRIMARCHI
Designer
M.MOCHADDASI
Design Checker
G.ANDRIANAKOS

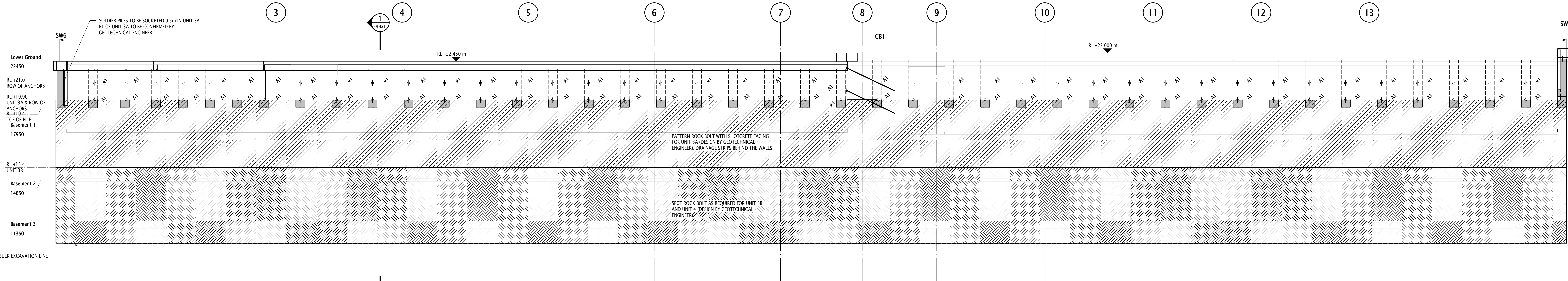
Job Number
19280

Approved
G.ANDRIANAKOS

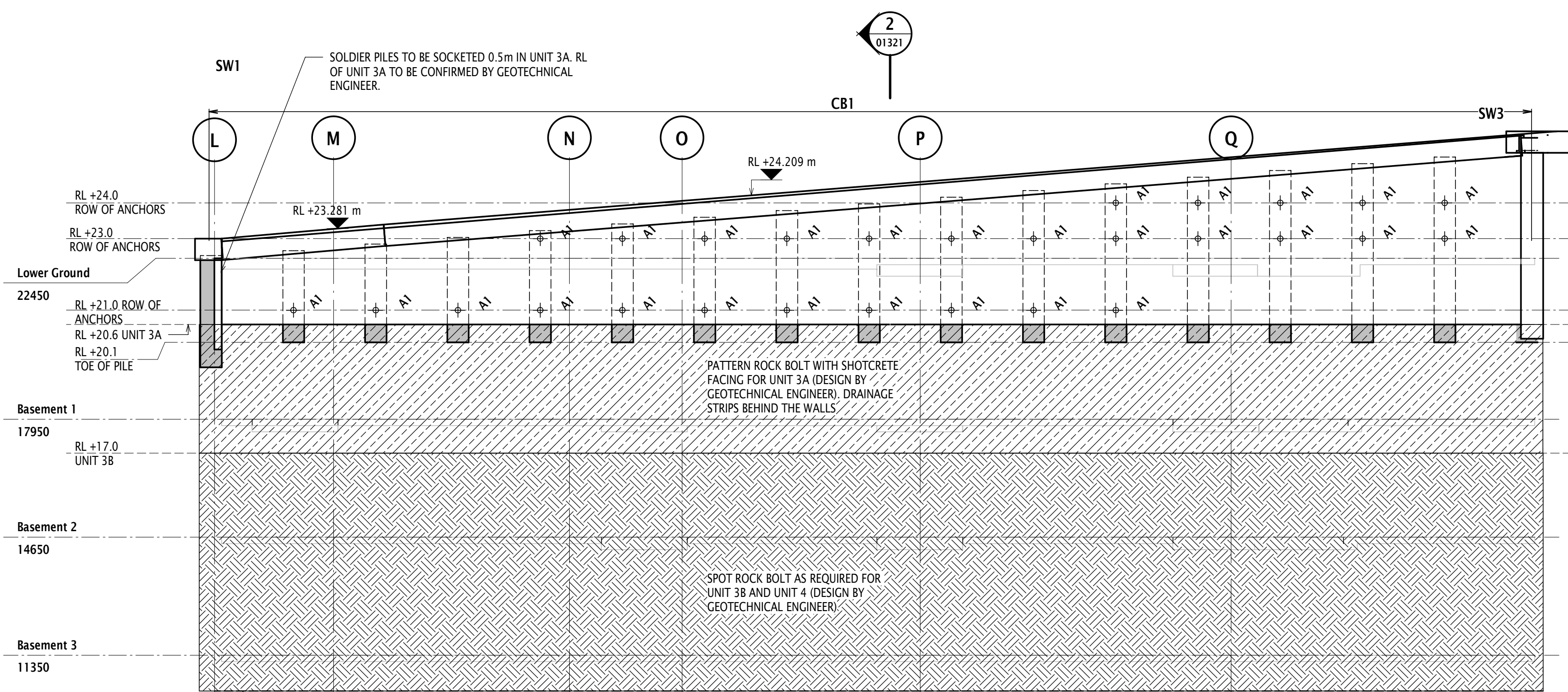
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Drawing Number
RBG-XX-XX-DR-ST-01010

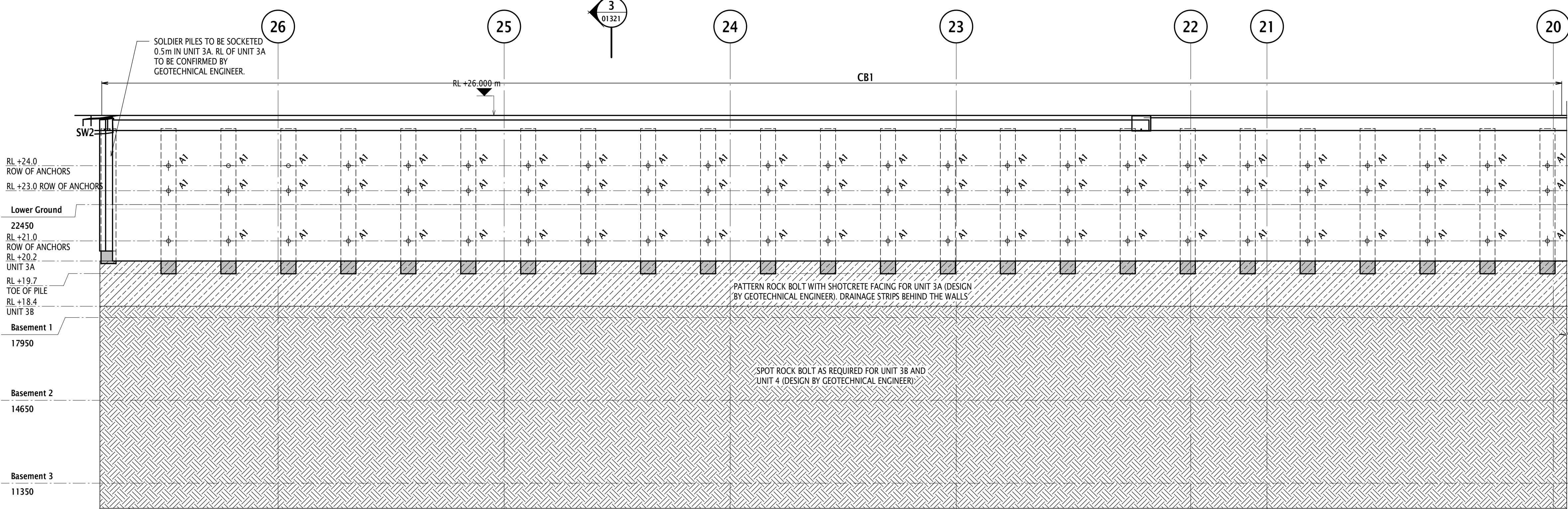
Revision
P1



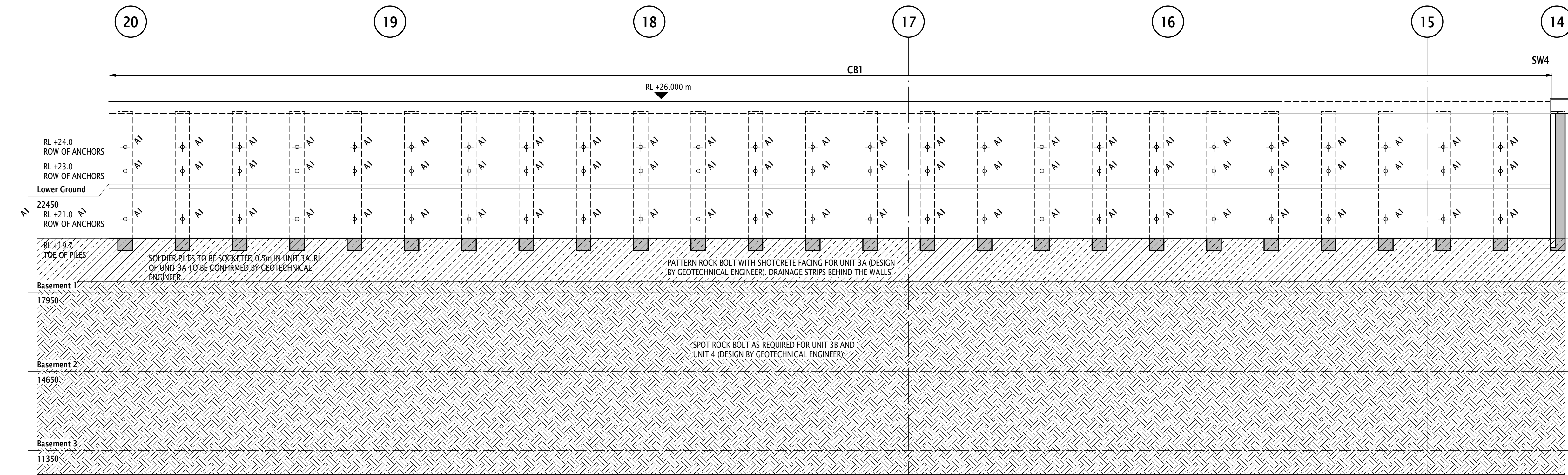
SHORING WALL ELEVATION - SW1
SCALE 1 : 100



SHORING WALL ELEVATION - SW2
SCALE 1 : 100



SHORING WALL ELEVATION - SW3
SCALE 1 : 100



SHORING WALL ELEVATION - SW4
SCALE 1 : 100

- EXCAVATION NOTES:**
- LOCAL EXCAVATION FOR COLUMNS, PILE CAPS, AND STRIP FOOTINGS NOT SHOWN.
 - EXCAVATION SEQUENCE AND REQUIREMENTS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
 - GEOTECHNICAL ENGINEER TO INSPECT EXCAVATION.
 - INSPECTION PLAN TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
- CONCRETE NOTES:**
REFER NOTES ON COVER SHEET
MIN CONC. STRENGTH AT 28 DAYS

LOCATION	Fc
SHOTCRETE	40MPa
BORED PIER	40MPa
CAPPING BEAM	40MPa

CONCRETE COVER	COVER
BORED PIER	65mm
CAPPING BEAM	50mm
SHOTCRETE	50mm
RETAINED SOIL SIDE	65mm
EXCAVATION SIDE	30mm

P1 EARLY WORKS (INFORMATION ONLY) ST CA 25.11.19

Rev	Revision Description	By	App	Date
0001	1	1	1	1

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Client
BUILT PTY LTD

Project
LIVERPOOL CIVIC PLACE

Title
**SHORING WALL ELEVATIONS
SHEET 1**

Date
01.11.19
Scale: as 40
1:100

Drawn
S.TRIMARCHI
Designer
M.MOGHADDASSI
Design Checker
G.ANDRIANAKOS

Job Number
19280

Approved
G.ANDRIANAKOS

NOT FOR CONSTRUCTION

Drawing Number
RBG-XX-XX-DR-ST-01211

Revision
P1

CAPPING BEAM SCHEDULE					
MARK	BREADTH	HEIGHT	TOP & BTM REINFORCEMENT	SIDE REINFORCEMENT	LIGATURES
CB1	750	600	3N20	4N24	2 LEC3 N12-300
CB2	750	600	3N20	4N24	4 LEC3 N12-300

BORED PIER SCHEDULE				
MARK	DIA	VERTICAL	HELIX TIES	COMMENTS
BP1	600	12N20	N12-300	
BP2	600	12N20	N16-300	

SHOTCRETE WALL SCHEDULE			
THICKNESS	HORIZONTAL	VERTICALS	Comments
200	SL102 MESH EF		

ANCHOR SCHEDULE								
MARK	SAFE WORKING LOAD (kN)	ANGLE FROM HORIZONTAL	DIAMETER (mm)	NO OF STRANDS	MIN.FREE LENGTH (mm)	INDICATIVE BOND IN SHALE/LAMINATE (m)	INDICATIVE TOTAL ANCHOR LENGTH ROCK (m)	PRE-STRESS LOAD (kN)
A1	300	15	100	2				150
A2	450	15	100	3				250

- NOTES:**
- NUMBER OF STRANDS ARE BASED ON 15.2mm SUPER-STRANDS
 - LOW PRE-STRESS LOADS ARE RECOMMENDED TO NOT INDUCE EXCESSIVE BENDING MOMENT AND SHEAR IN THE PILES
 - ANCHOR DETAILS IN ACCORDANCE WITH GOLDER ASSOCIATES SHORING WALL GEOTECHNICAL REPORT DATED NOVEMBER 2019

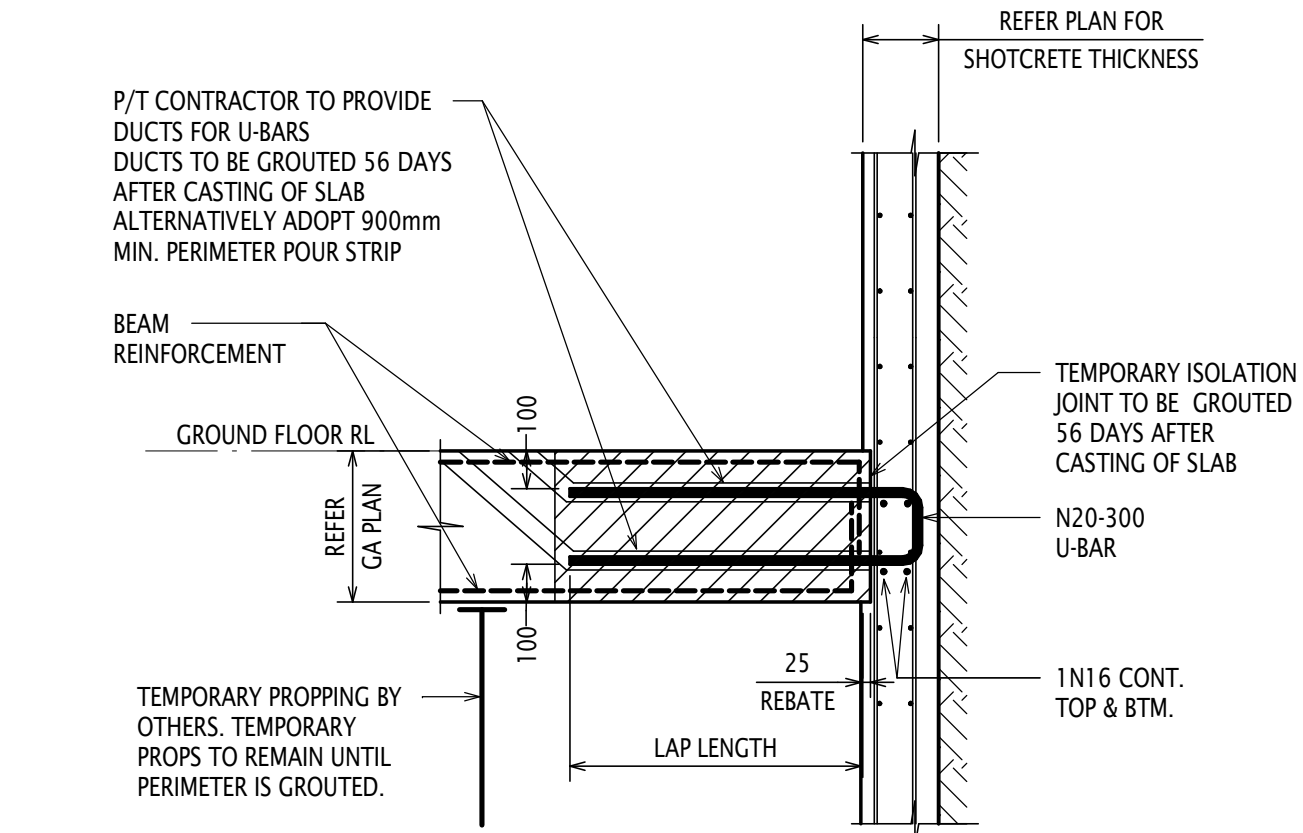


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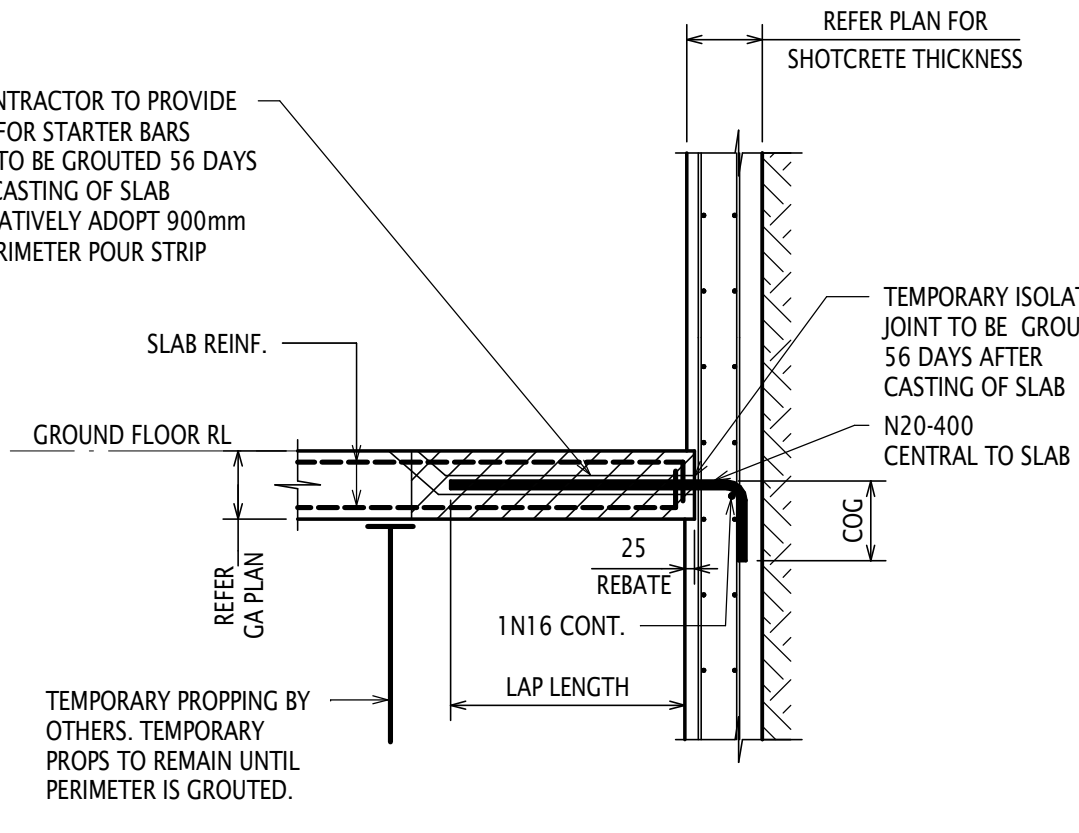
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- ANCHOR DETAILS IN ACCORDANCE WITH GOLDER ASSOCIATES SHORING WALL GEOTECHNICAL REPORT DATED NOVEMBER 2015

LOCATION	COVER
BORED PIER	65mm
CAPPING BEAM	50mm
SHOTCRETE:	
- RETAINED SOIL SIDE	65mm
- EXCAVATION SIDE	30mm

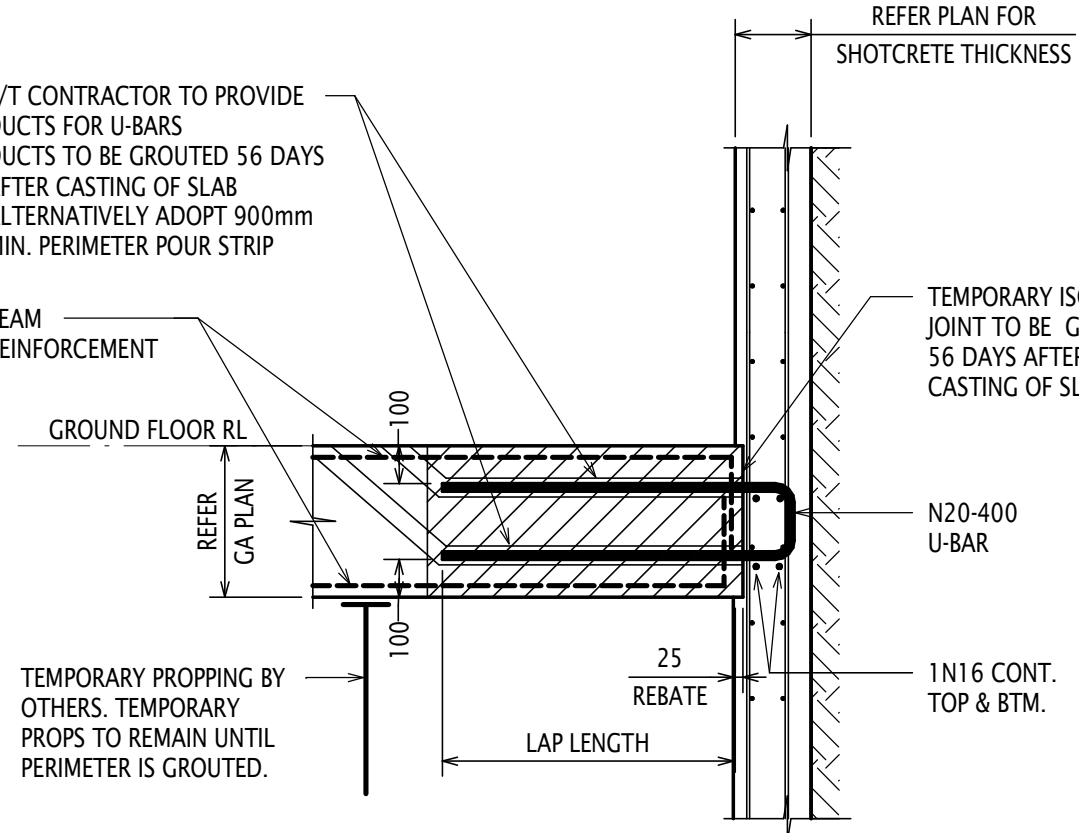
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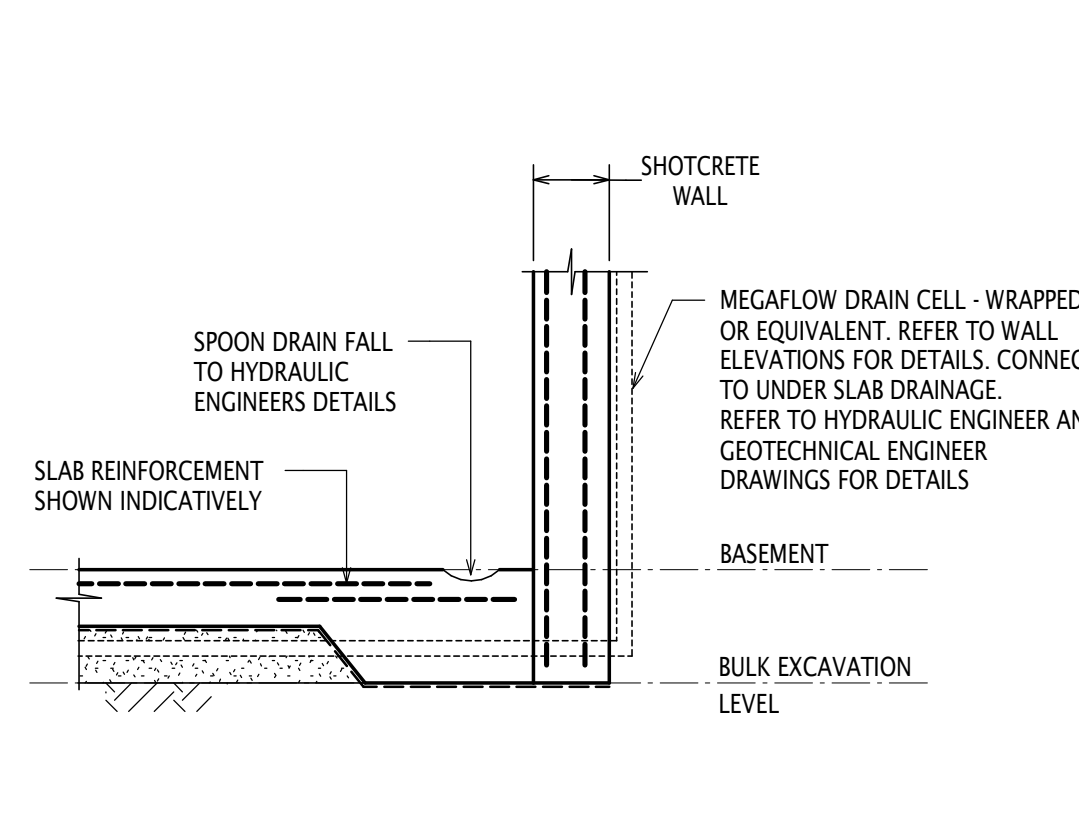
TYPICAL BEAM TO SHOTCRETE WALL DETAIL
SCALE 1:20
NOTE: DETAIL REQUIRED AT CONTIGUOUS AND SOLDIER PILE WALLS



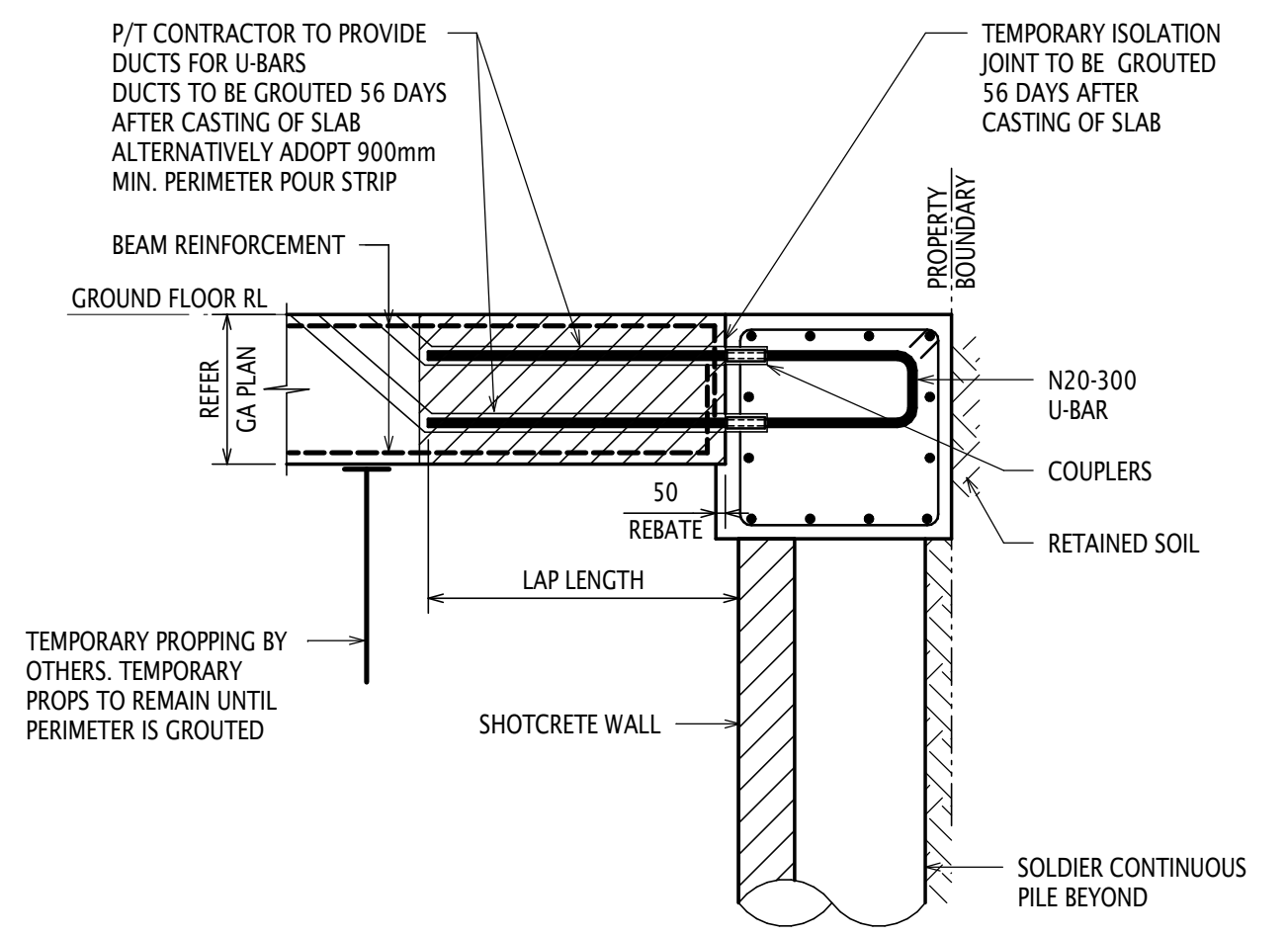
TYPICAL SLAB (DEPTH ≤ 350) TO SHOTCRETE WALL DETAIL
SCALE 1:20
NOTE: DETAIL REQUIRED AT CONTIGUOUS AND SOLDIER PILE WALLS



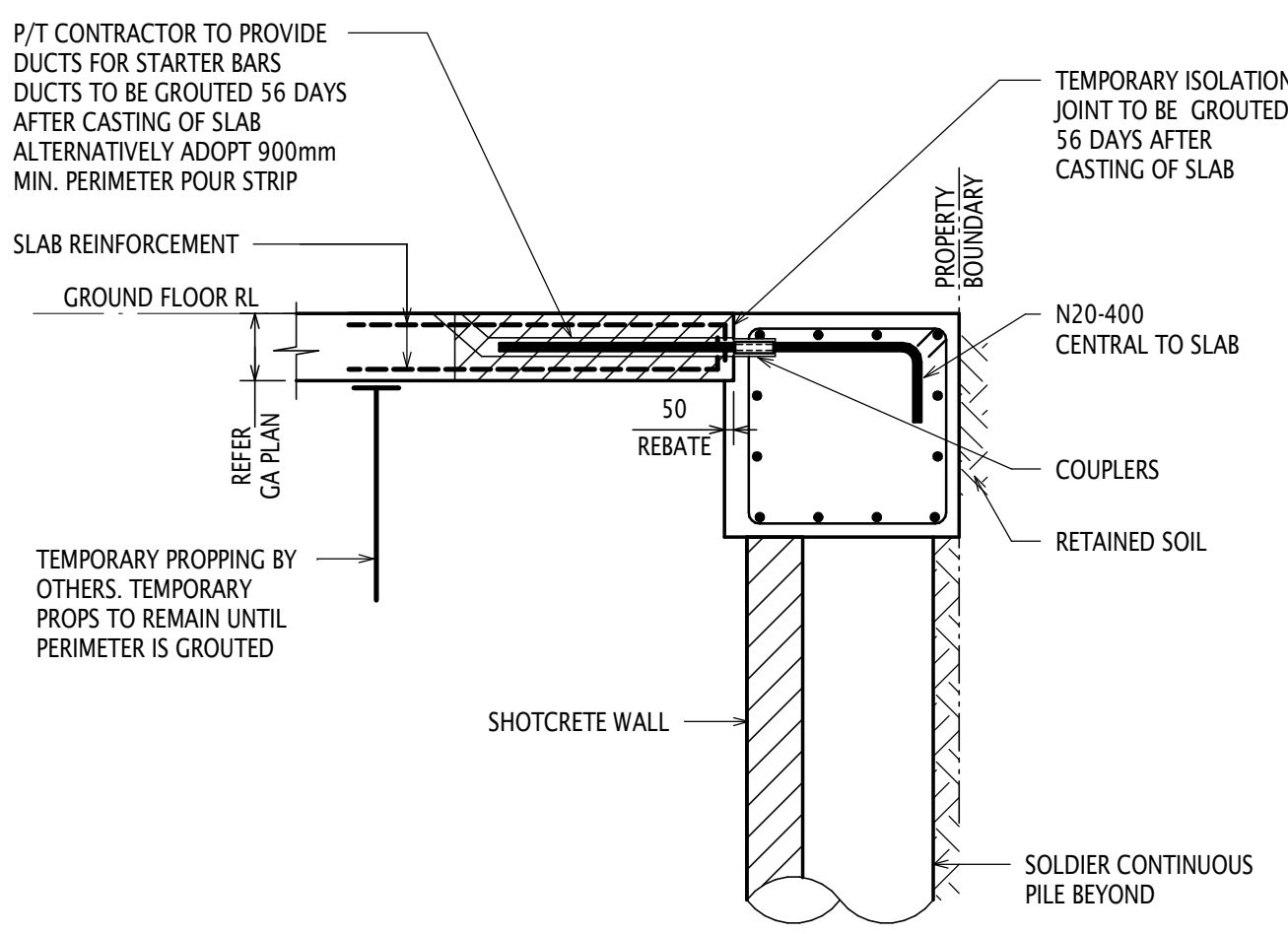
TYPICAL SLAB (DEPTH > 350) TO SHOTCRETE WALL DETAIL
SCALE 1:20
NOTE: DETAIL REQUIRED AT CONTIGUOUS AND SOLDIER PILE WALLS



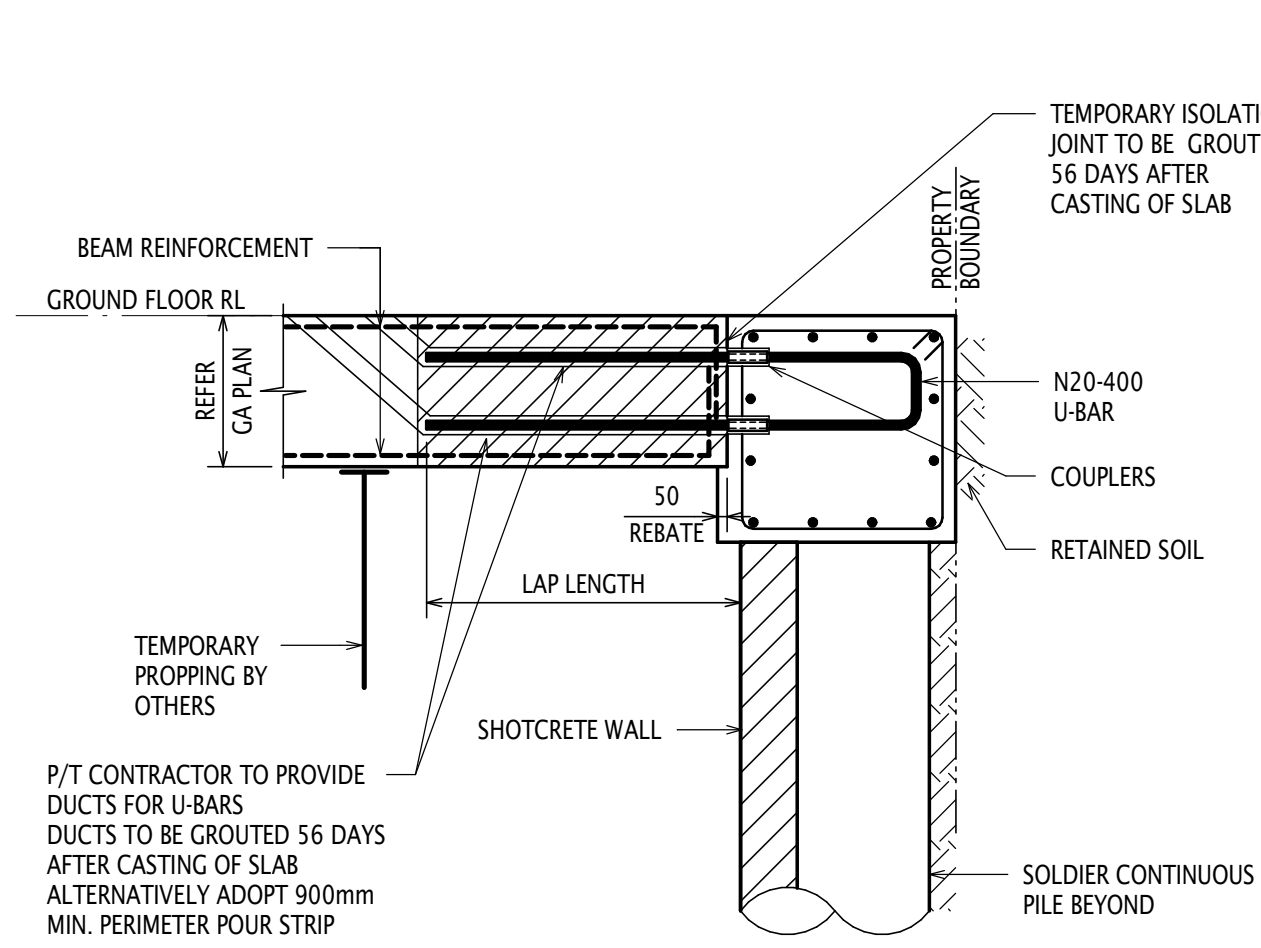
TYPICAL SLAB TO SHOTCRETE WALL DRAINAGE DETAIL AT BASE
SCALE 1:20



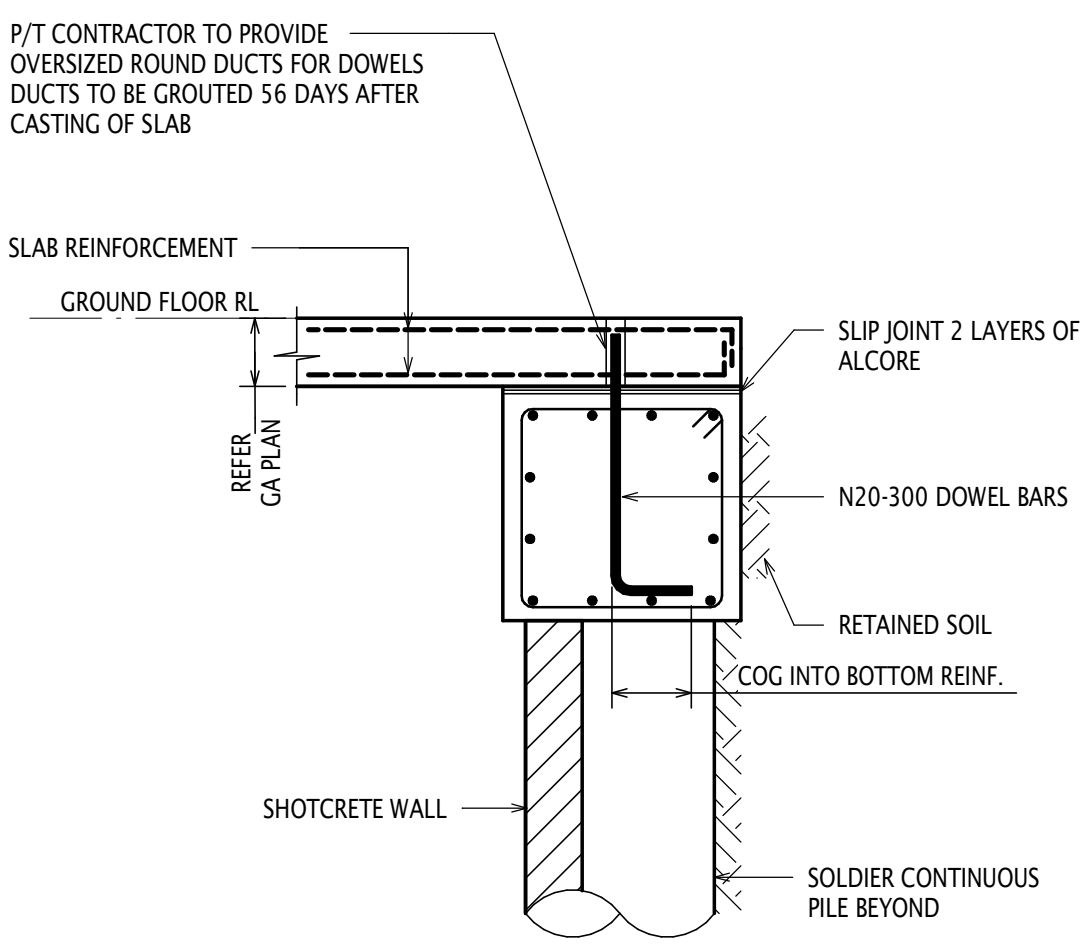
TYPICAL BEAM TO CAPPING BEAM DETAIL
SCALE 1:20



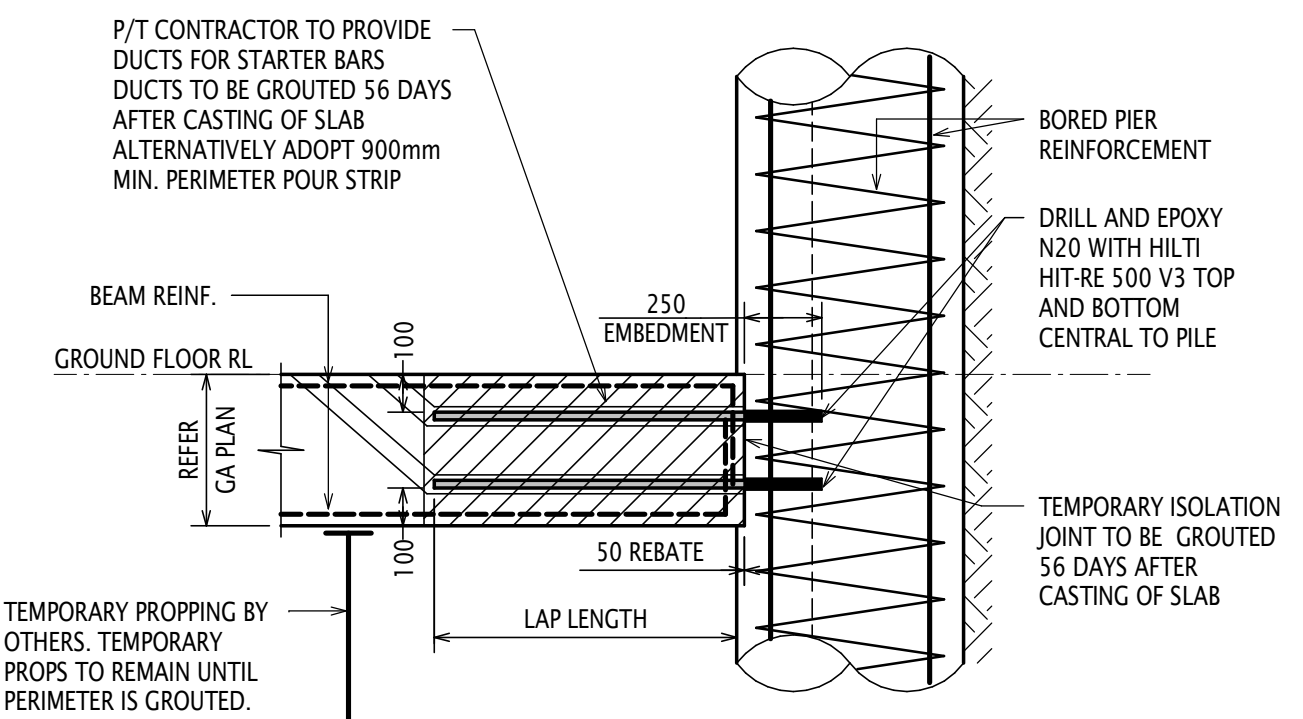
TYPICAL SLAB (DEPTH ≤ 350) TO CAPPING BEAM DETAIL
SCALE 1:20



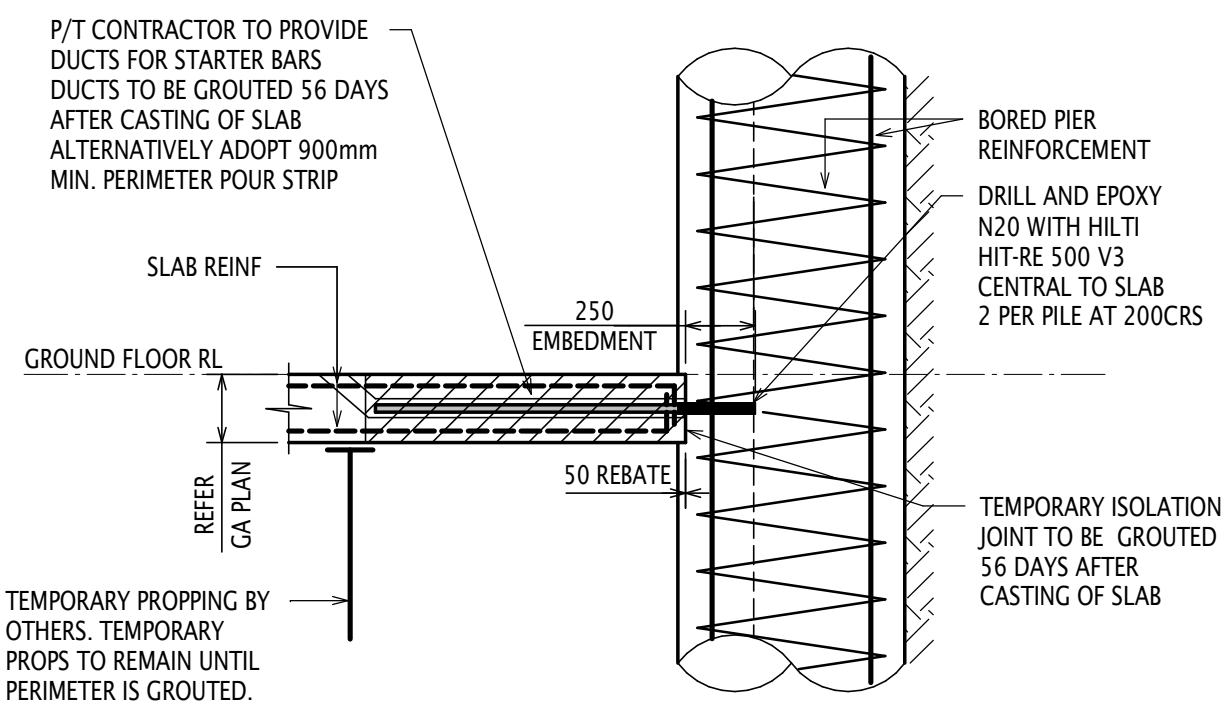
TYPICAL SLAB (DEPTH > 350) TO CAPPING BEAM DETAIL
SCALE 1:20



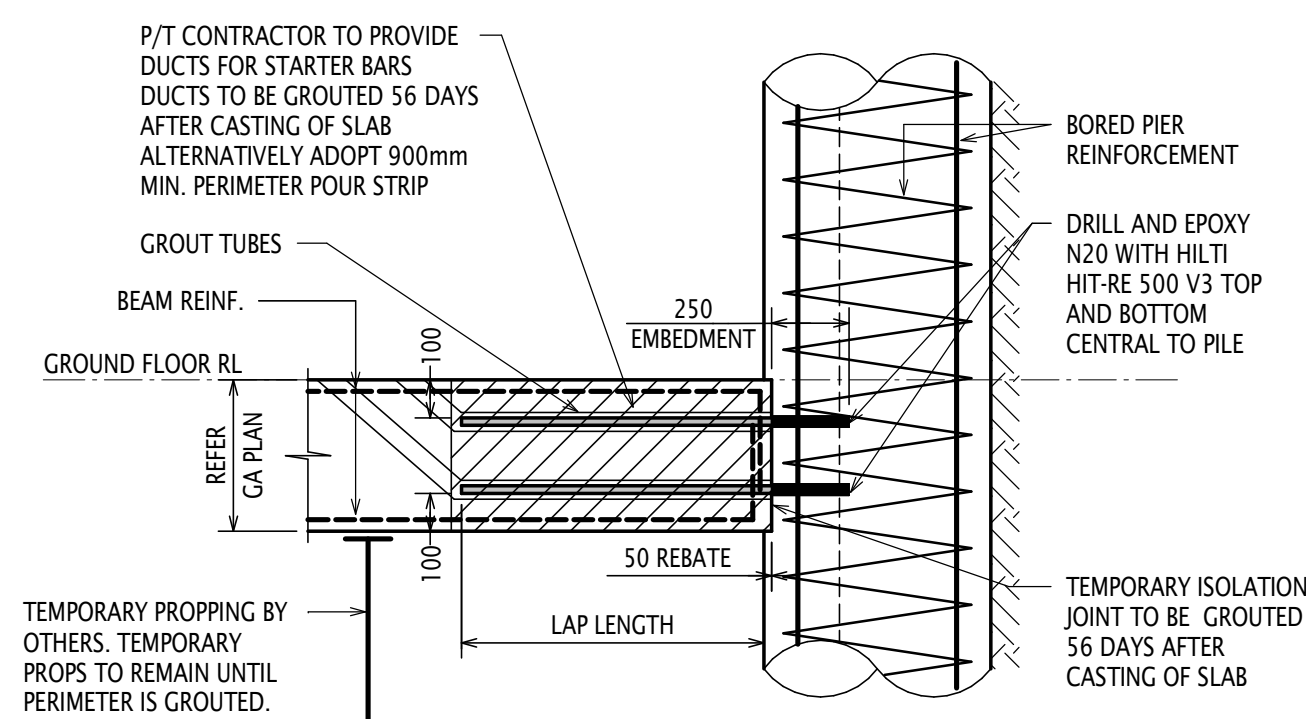
TYPICAL SLAB OVER CAPPING BEAM DETAIL
SCALE 1:20



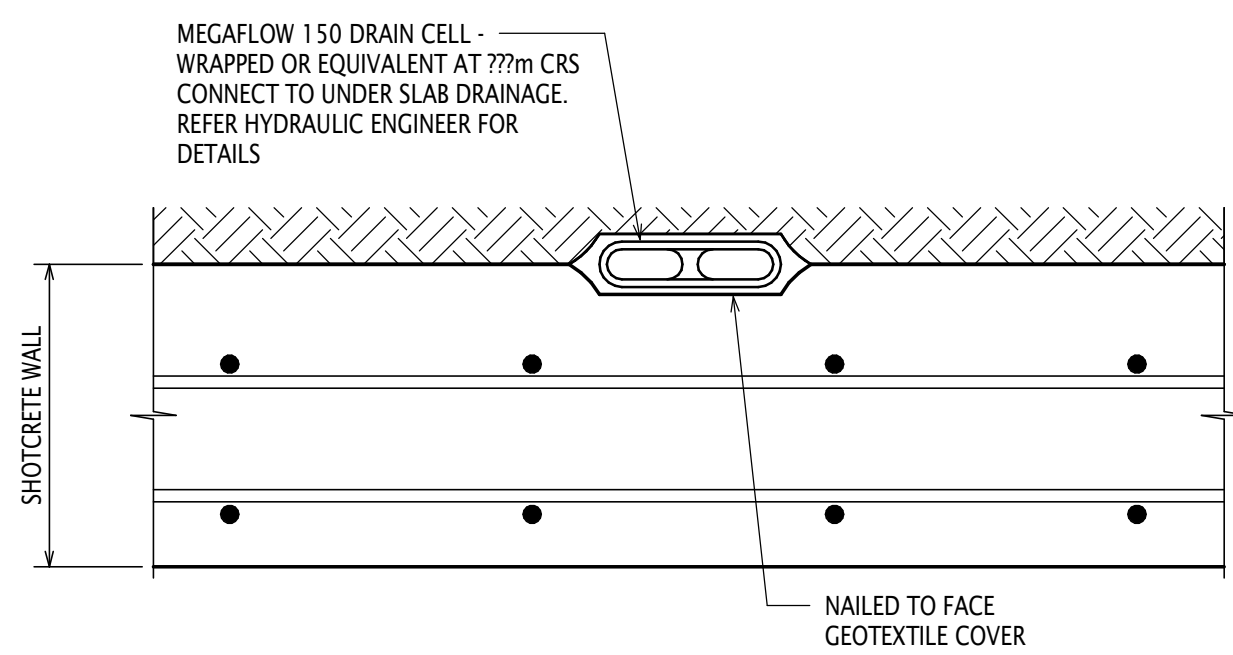
TYPICAL BEAM TO CONTIGUOUS OR SOLDIER PILE DETAIL
SCALE 1:20



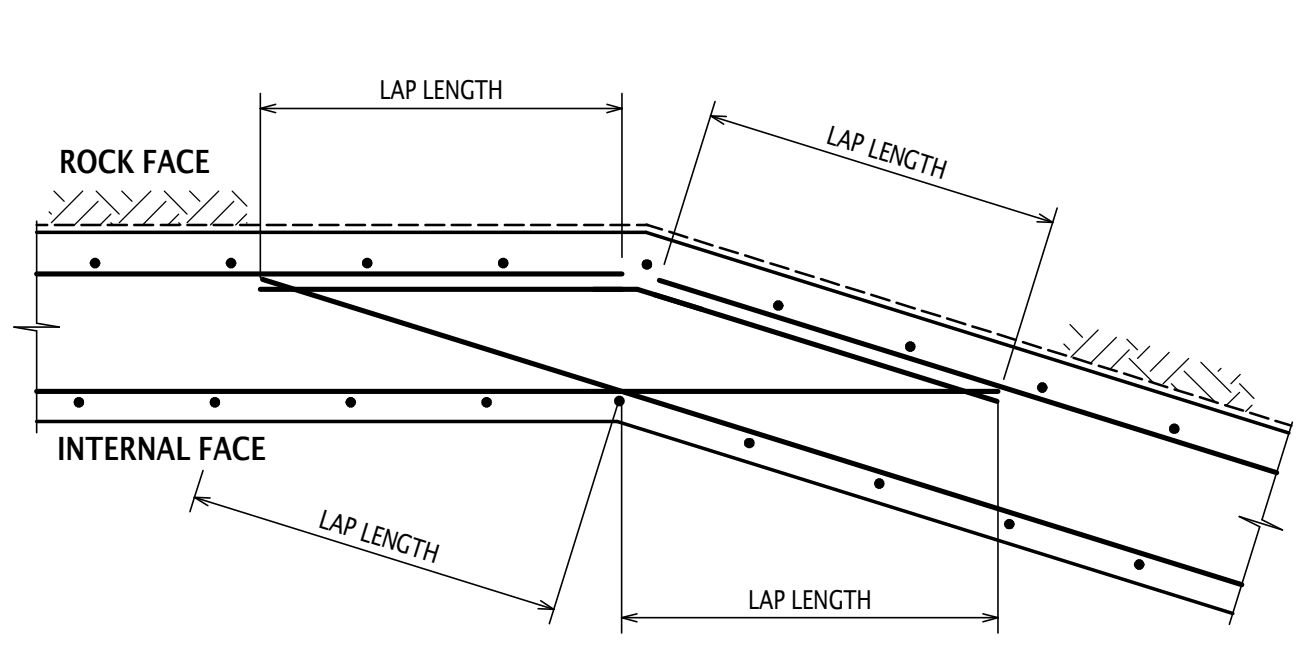
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SCALE 1:20



TYPICAL SLAB (DEPTH > 350) TO CONTIGUOUS OR SOLDIER PILE DETAIL
SCALE 1:20



TYPICAL WALL DRAINAGE DETAIL
SCALE 1:5



TYPICAL SHORING WALL CRANK DETAIL - REINFORCING BARS
SCALE 1:10

P1 EARLY WORKS INFORMATION ONLY										ST	CA	25.11.19
Rev	Revision Description	By	App	Date								
0001	1	1	1	1	1	1	1	1	1	1	1	1

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BUILT PTY LTD

Project
LIVERPOOL CIVIC PLACE

Title
**TYPICAL SHORING DETAILS
SHEET 1**

Date
01.11.19
Scale as 40
1:5, 1:10, 1:20

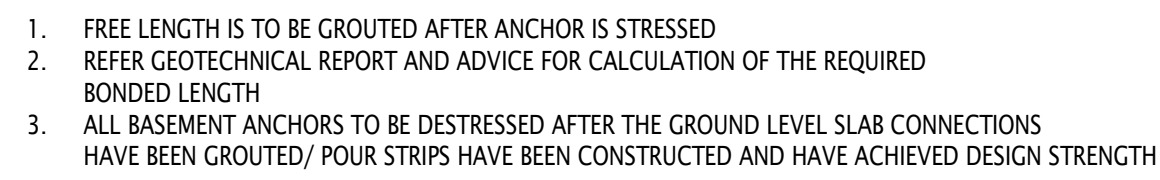
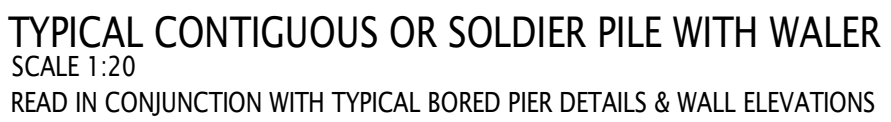
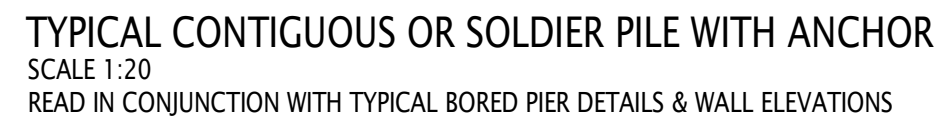
Drawn
S.TRIMARCHI
Designer
M.MOGHADDASI
Design Checker
G.ANDRIANAKOS

Job Number
19280

Drawing Number
RBG-XX-XX-DR-ST-01311

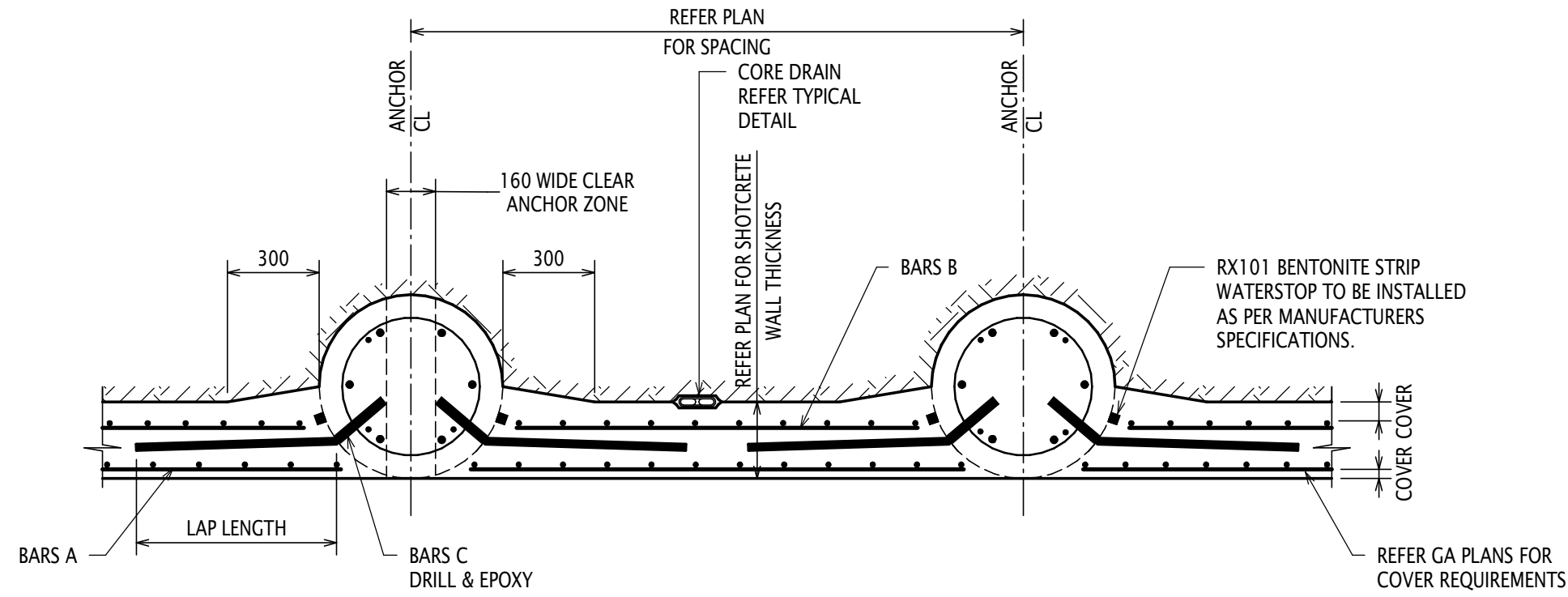
Revision
P1

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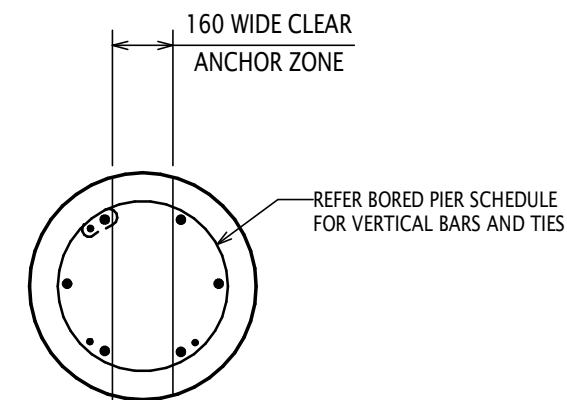


TYPICAL ANCHOR HEAD DETAIL
SCALE 1:10

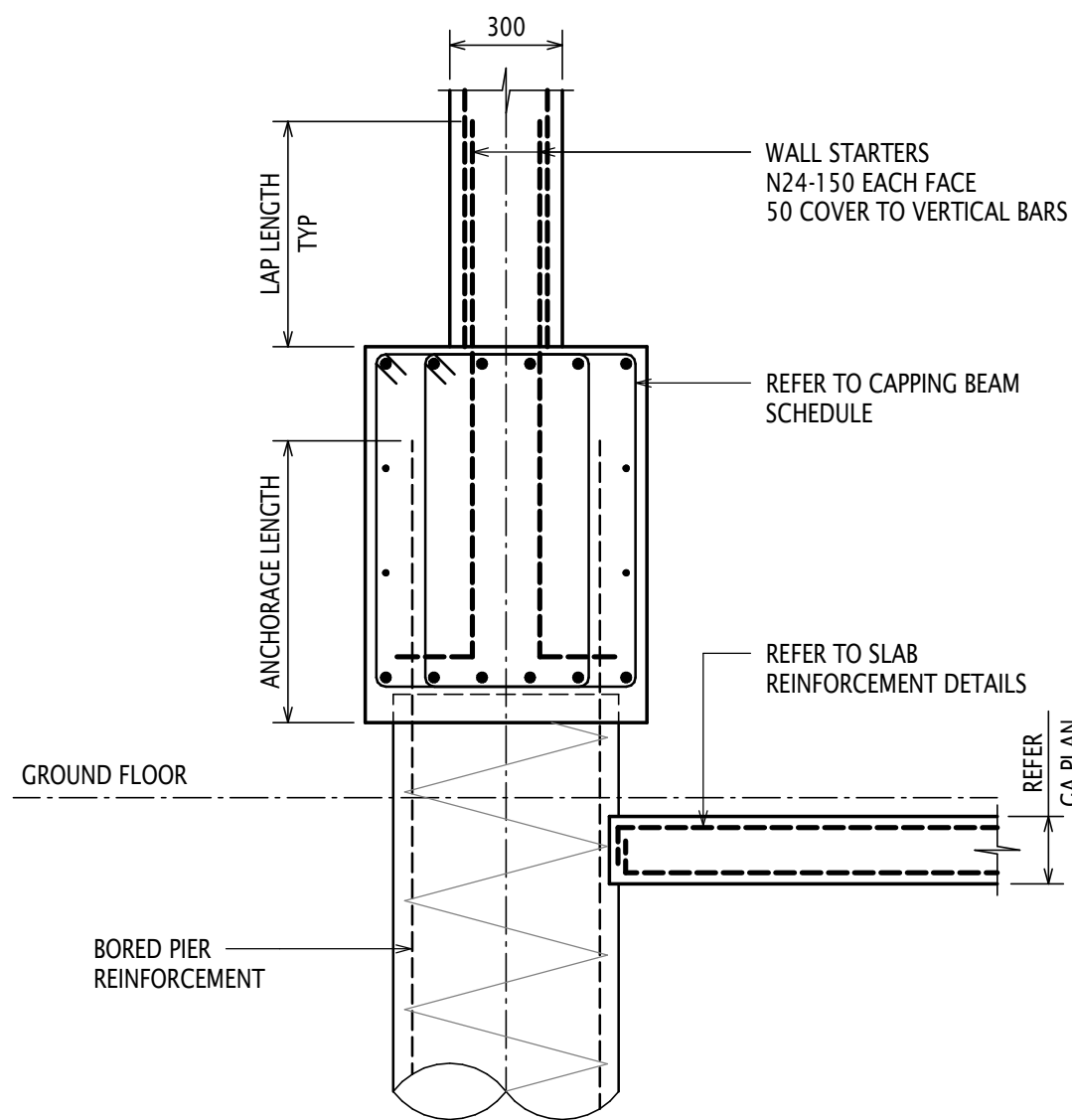




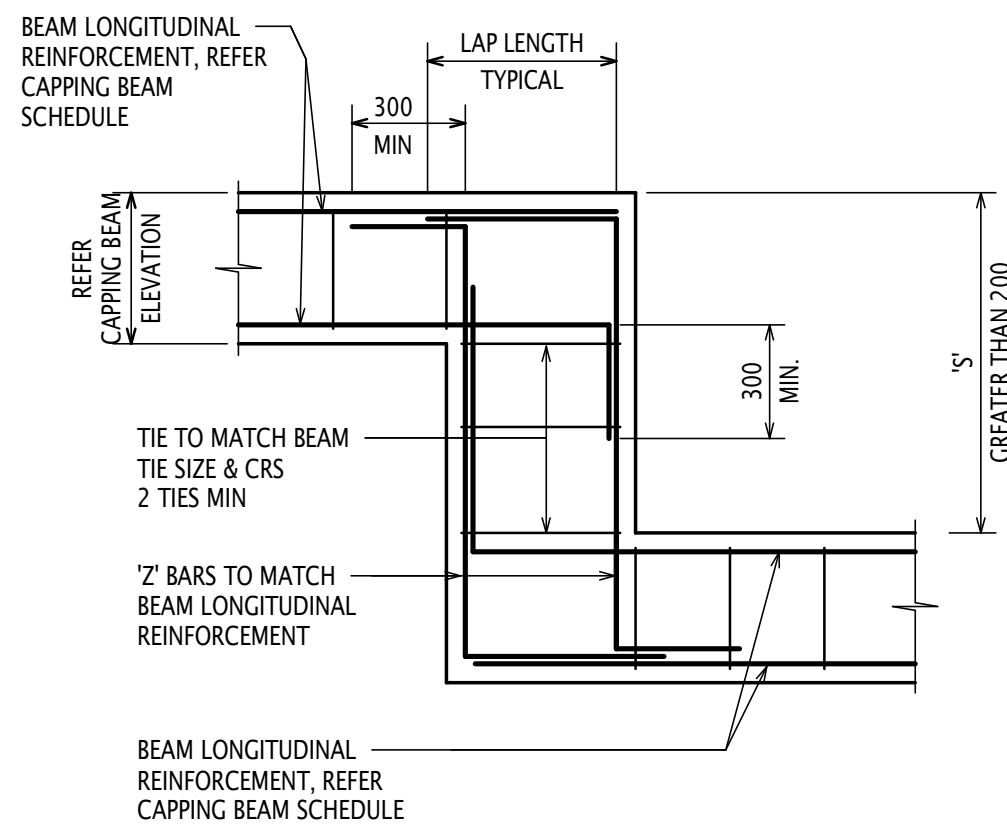
TYPICAL SOLDIER PIER WALL DETAIL
SCALE 1:20



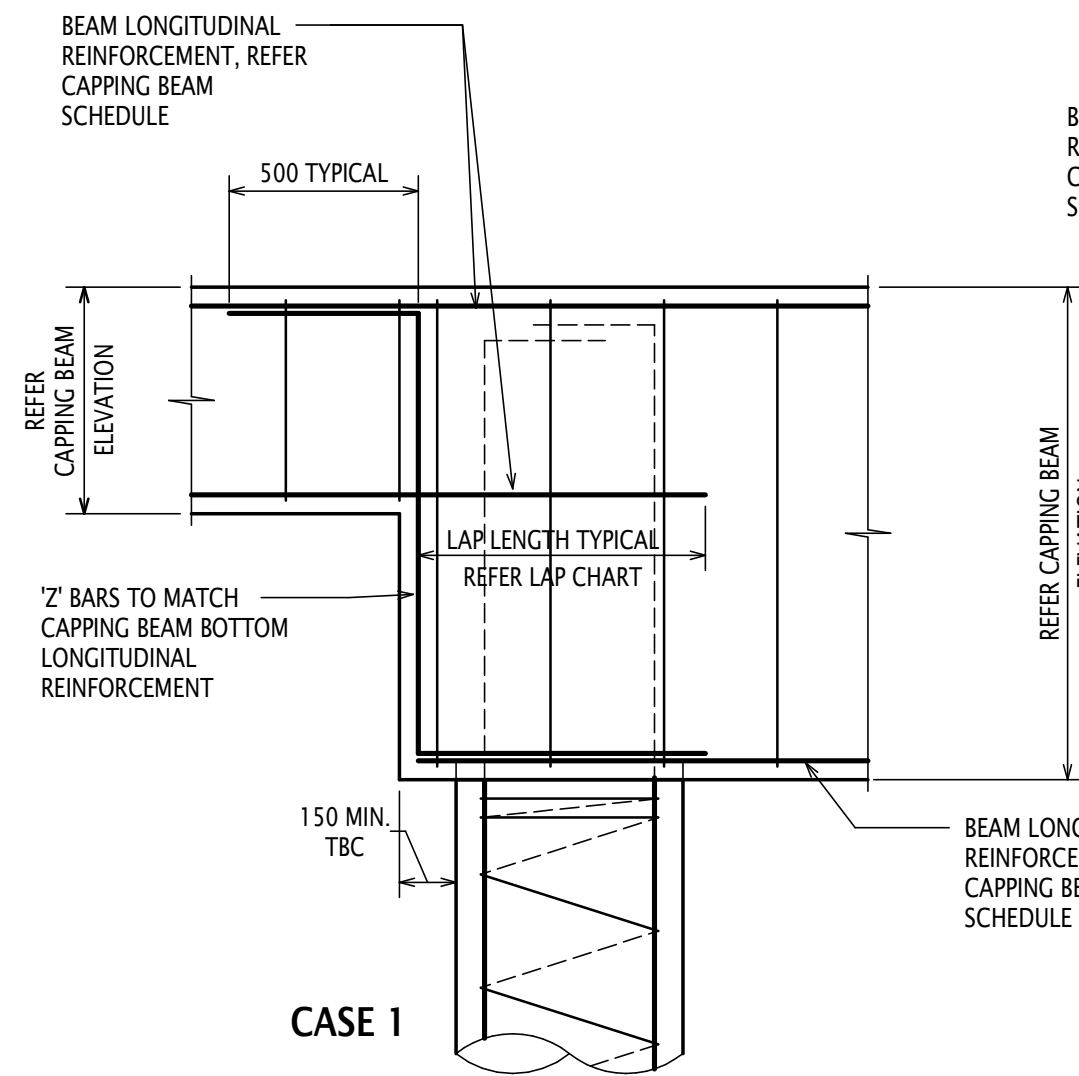
TYPICAL BORED PIER DETAIL



CAPPING BEAM CB4 DETAIL
SCALE 1:20

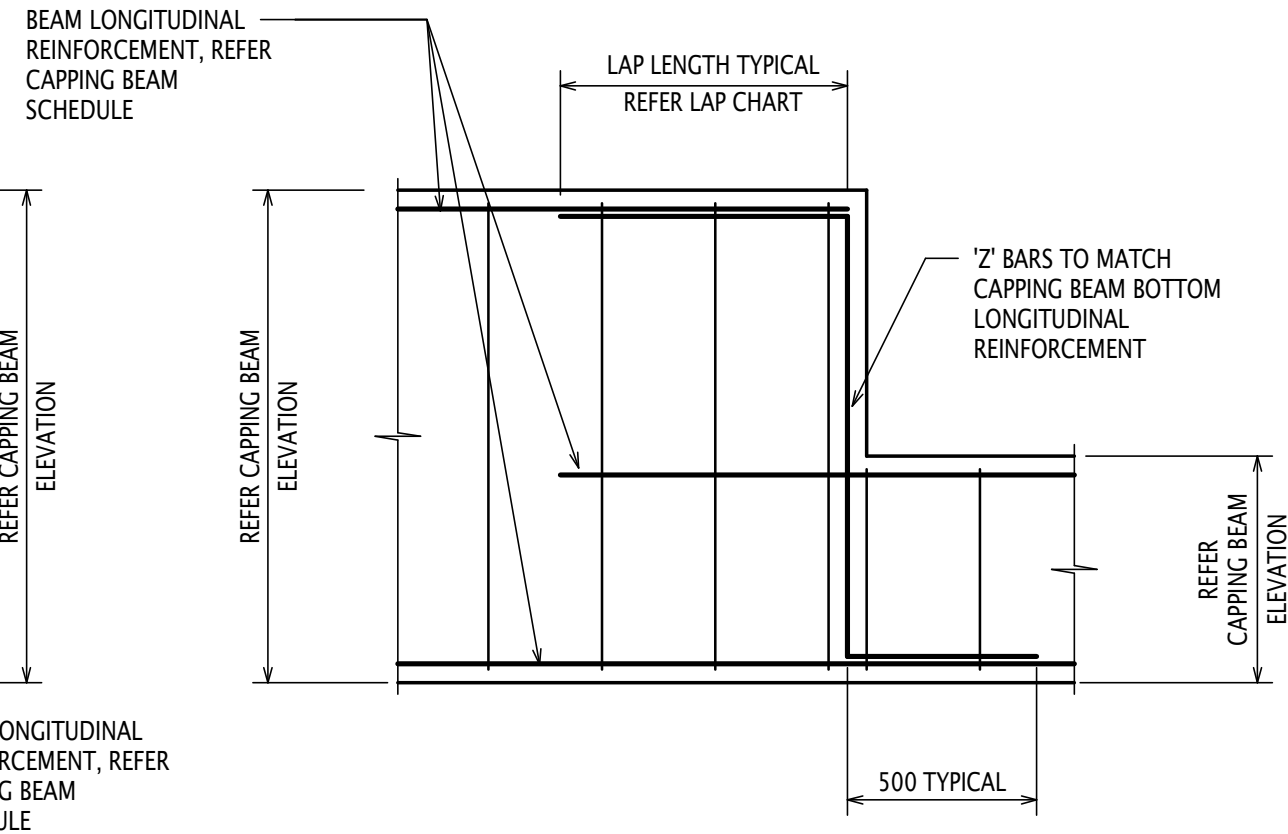


TYPICAL CAPPING BEAM FOLD SECTION
SCALE 1:20
ALL FOLDS 1200 UNO ON ELEVATIONS

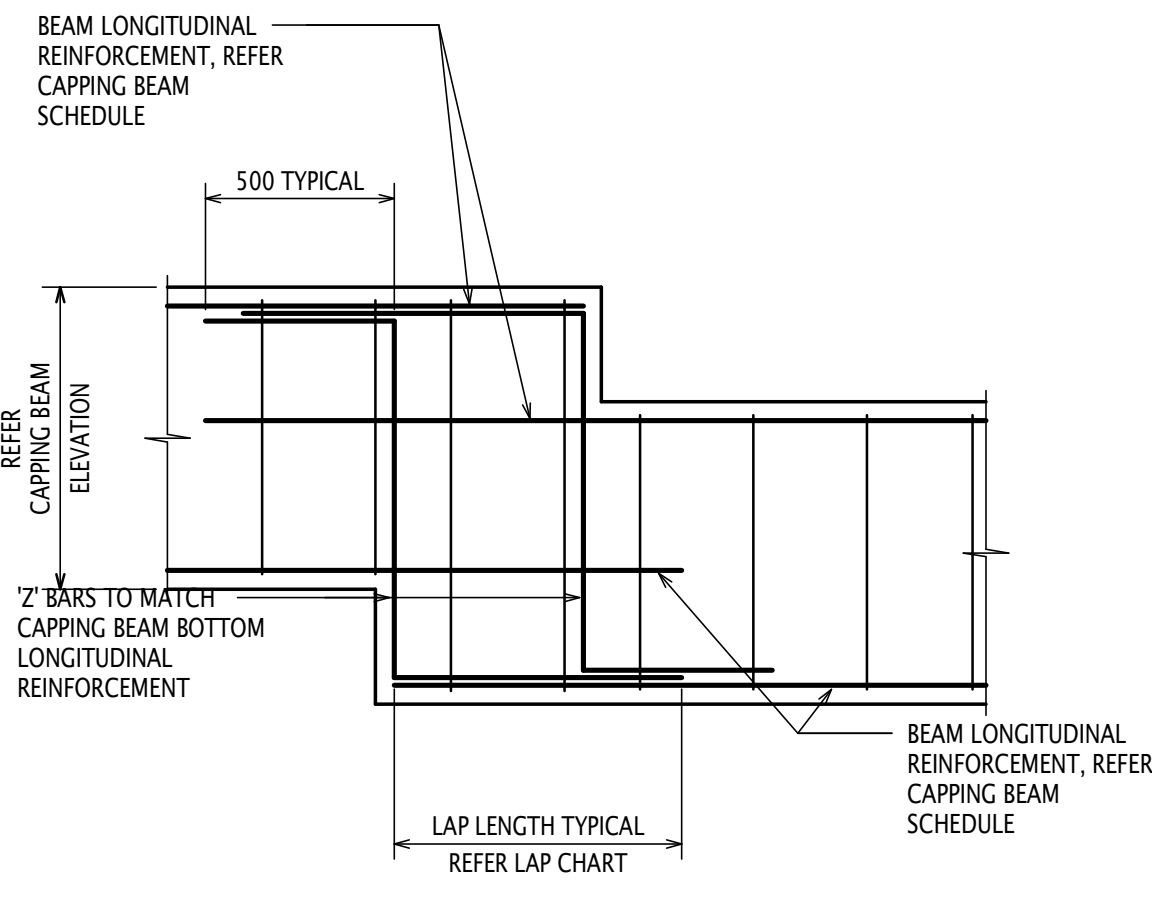


TYPICAL CHANGE IN CAPPING BEAM DEPTH
SCALE 1:20

NOTE: SIDE BARS NOT SHOWN FOR CLARITY
REFER TO CAPPING BEAM SCHEDULE



CASE 2



CASE 3

P1 EARLY WORKS (INFORMATION ONLY)				ST CA 25.11.19	
Rev	Revision Description	By	App	Date	
1	1	1	1	1	1

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Client
BUILT PTY LTD

Project
LIVERPOOL CIVIC PLACE

Title
TYPICAL SHORING DETAILS
SHEET 3

Date	Drawn
01.11.19	S.TRIMARCHI
Scale	Designer
at 40	M.MOGHADDASI
1:20	Design Checker
	G.ANDRIANAKOS

Job Number
19280

Approved
G.ANDRIANAKOS

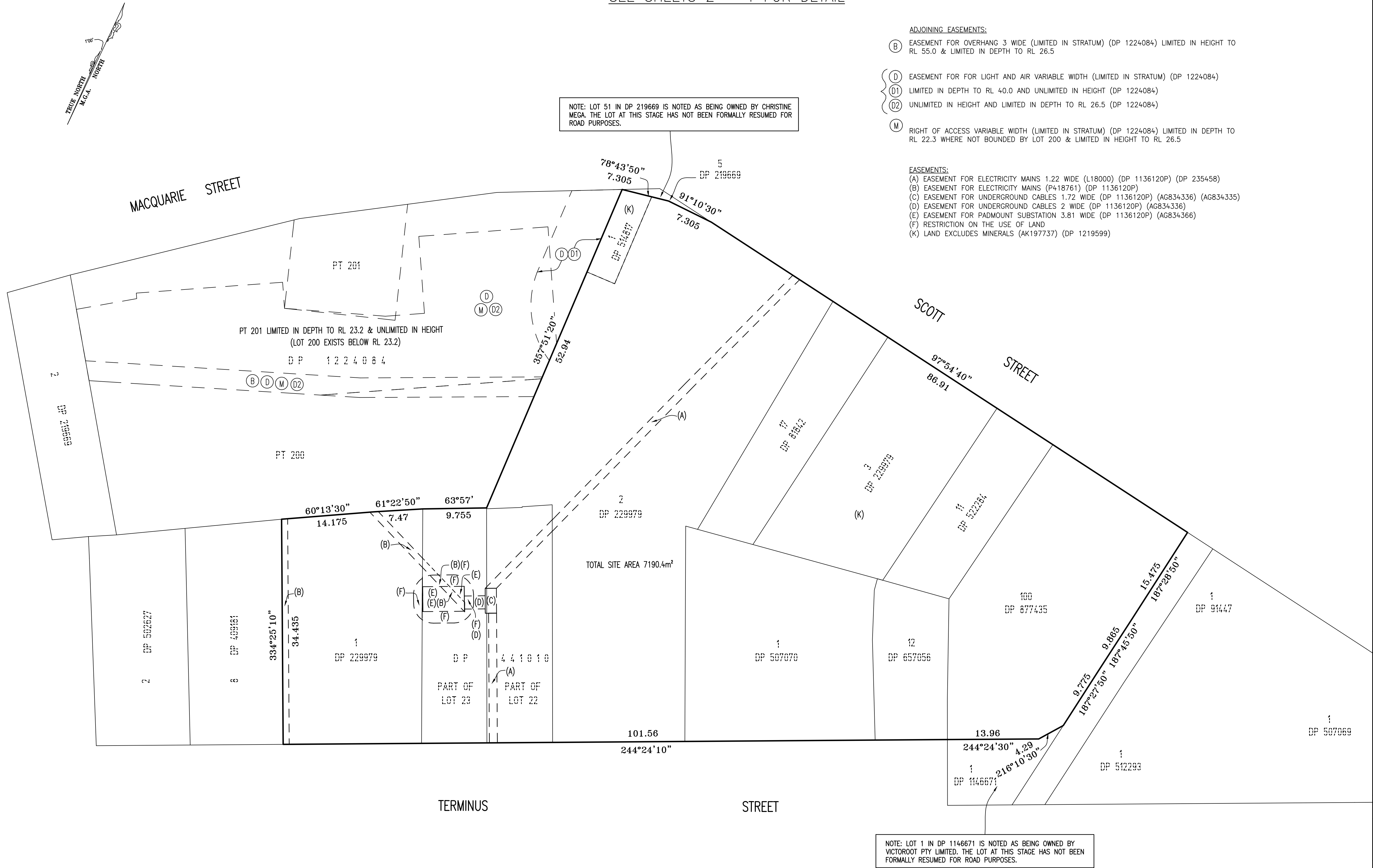
Drawing Number
RBG-XX-XX-DR-ST-01313

Revision
P1

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25-Nov-19 10:20:51 PM

LOCALITY
SEE SHEETS 2 – 4 FOR DETAIL



ADJOINING EASEMENTS:

- (B) EASEMENT FOR OVERHANG 3 WIDE (LIMITED IN STRATUM) (DP 1224084) LIMITED IN HEIGHT TO RL 55.0 & LIMITED IN DEPTH TO RL 26.5
- (D) EASEMENT FOR FOR LIGHT AND AIR VARIABLE WIDTH (LIMITED IN STRATUM) (DP 1224084)
- (D1) LIMITED IN DEPTH TO RL 40.0 AND UNLIMITED IN HEIGHT (DP 1224084)
- (D2) UNLIMITED IN HEIGHT AND LIMITED IN DEPTH TO RL 26.5 (DP 1224084)
- (M) RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (DP 1224084) LIMITED IN DEPTH TO RL 22.3 WHERE NOT BOUNDED BY LOT 200 & LIMITED IN HEIGHT TO RL 26.5

EASEMENTS:

- (A) EASEMENT FOR ELECTRICITY MAINS 1.22 WIDE (L18000) (DP 1136120P) (DP 235458)
- (B) EASEMENT FOR ELECTRICITY MAINS (P418761) (DP 1136120P)
- (C) EASEMENT FOR UNDERGROUND CABLES 1.72 WIDE (DP 1136120P) (AG834336) (AG834335)
- (D) EASEMENT FOR UNDERGROUND CABLES 2 WIDE (DP 1136120P) (AG834336)
- (E) EASEMENT FOR PADMOUNT SUBSTATION 3.81 WIDE (DP 1136120P) (AG834366)
- (F) RESTRICTION ON THE USE OF LAND
- (K) LAND EXCLUDES MINERALS (AK197737) (DP 1219599)

TYPICAL NOTES:

- ORIGIN OF LEVELS SSM 154632, RL20.450 (A.H.D.)
- BEARINGS ARE ON MGA NORTH
- NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN
- BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW
- RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
- SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY AND THE RELEVANT SOURCE DIAGRAMS OF THE VARIOUS AUTHORITIES. ALL SERVICES MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. VERIS AUSTRALIA PTY LTD BEAR NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN HEREON
- RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY
- ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
- THE DIAMETER (ø), SPREAD (S) & HEIGHT (h) OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
- CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAILED DESIGN IS TO BE UNDERTAKEN
- CONTOUR INTERVAL 0.00 METRE

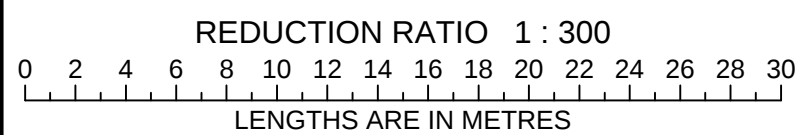
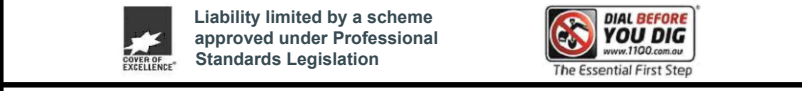
LEGEND OF TYPICAL CODES

AE - ARCHITECTURAL EMBELLISHMENT	MUD - METAL LID
AP - ALIGNMENT PIN	NS - NATURAL SURFACE
AWN - AWNING	OCC - STRUCTURE
BALC - BALCONY	OPT - OPTUS PIT
BANK - BOTTOM OF BANK	PC - PAVEMENT CROSSING
BB - BOTTOM OF BANK	PED - PEDESTRIAN CROSSING
BD - BOTTOM OF DOOR	PERG - PERGOLA
BDY - BOUNDARY	PM - PERMANENT MARK
BF - BOTTOM OF FENCE	PO - POWER POLE
BHR - BOTTOM OF HANDRAIL	ROCK - ROCK
BT - BUTTRESS	RLWY - RAILWAY
BK - BOTTOM OF KERB	RM - REFERENCE MARK
BLD - BUILDING	RR - ROOF RIDGE
BM - BENCH MARK	RSN - CONCRETE WALL
BOL - BOLLARD	SEW - SEWER
BR - BOTTOM OF ROCK	SHR - SHED
BRW - BOTTOM OF RETAINING WALL	SIP - SEWER INSPECTION PIT
BS - BOTTOM OF STEPS	SP - SIGN POST
BW - BOTTOM OF WALL	SSM - STATE SURVEY MARK
BWN - BOTTOM OF WINDOW	SV - STOP VALVE
CHM - CHIMNEY	SW - STORM WATER
CL - CENTRELINE	TARCH - TOP OF ARCH
CLD - CONCRETE LID	TAIN - TOP OF ANCHOR
COL - COLUMN	TB - TOP OF BANK
COM - COMMUNICATIONS PIT	TBR - TELSTRA BOX
CONC - CONCRETE	TCH - TOP OF CHIMNEY
CPY - CARPORT	TD - TOP OF DOOR
D - DOOR	TEL - TELSTRA PIT
DD - DISH DRAIN	TELP - TELSTRA PILLAR
DH - DRILL HOLE	TF - TOP OF FENCE
DHW - DRILL HOLE & WINGS	TO - TOP OF GUTTER
DRY - DRIVEWAY	TR - TOP OF ROOF
EB - EDGE OF BITUMEN	TOW - TOP OF RETAINING WALL
ED - EDGE OF CONCRETE	TS - TOP OF STEPS
ED - EDGE OF DOOR	TI - TRAFFIC ISLAND
ED - EDGE OF GARDEN	TOB - TOP OF OVERHEAD
ELC - ELECTRICITY PIT	TL - TRAFFIC LIGHT
ELP - LIGHT POLE	TP - TOP OF PARAPET
EP - EDGE OF PATH	TR - TREE
ES - EDGE OF ROAD	TRP - TOP OF ROOF
FCE - FENCE	TRK - TOP OF KERB
FL - FLOOR LEVEL	TW - TOP OF WINDOW
PFL - FINISHED FLOOR LEVEL	US - UNDERSIDE
FP - FENCE POST	UAWN - UNDERSIDE OF AWNING
GL - GLASS DOOR	UKS - UNKNOWN SERVICE
GL - GLASS LEVEL	USB - UNDERSIDE OF BEAM
GM - GAS METER	USC - UNDERSIDE OF CEILING
HPS - HIGH POWERED GAS	USE - UNDERSIDE OF EAVE
HR - HANDRAIL	USO - UNDERSIDE OF OUTLET
HYD - HYDRANT	V - VENT
I - INVERT LEVEL	W - WINDOW
K - KERB	VC - VEHICLE CROSSING
LP - LAMP POST	WM - WATER METER
MH - MANHOLE	

LEGEND OF TYPICAL SERVICES

C - COMMUNICATIONS CABLE	RW - RECYCLED WATER
COMP - CERAMIC STORMWATER PIPE	RM - RISING MAIN
E - UNDERGROUND ELECTRICITY	RMS & MARINE SERVICES
AE - AD - UNDERGROUND ELECTRICITY & OPTICS CABLES	S - SEWER
FS - FIRE SERVICE	SD - SEWER OUTFALL
G - GAS LINE & ELECTRICITY CABLES	SH - SHARED TRENCH
GE - GAS LINE	SW - STORM WATER
NBN - NATIONAL BROAD BAND CABLES	SW - STORMWATER CREEK
NO - NATURAL GAS LINE	SW - SW
OH - OVERHEAD CABLES	TEL - TELSTRA CABLES
OPT - OPTUS CABLE	TO - TELSTRA & GAS CABLES
PE - PRIVATE ELECTRICITY	U - UNKNOWN SERVICE
PS - PRIVATE SEWER	VO - VOUCUS CABLES
PW - PRIVATE WATER	VR - VERIZON CABLES
	W - WATER SUPPLY
	WM - WATER MAIN

- ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY
- ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM SERVICE AUTHORITY PLANS PROVIDED BY THE AUTHORITIES
- THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY ONLY USING THE SERVICE DIAGRAMS AS PROVIDED. THE EXACT LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PILING. NO WARRANTY IS GIVEN AGAINST THE POSSIBILITY OF THE EXISTENCE OF FURTHER UNIDENTIFIED SERVICES
- ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES, IN ACCORDANCE WITH STANDARD 'DIAL BEFORE YOU DIG' PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



CLIENT: BUILT DEVELOPMENT GROUP	
TITLE No:	REF:201512
DATUM: A.H.D.	ISSUE: 1
DATE OF SURVEY: 14.06.19	ISSUE DATE: 27.06.2019
SURVEYOR: SZ	SHEET SIZE: A1
DRAFTER: JJ	SHEET 1 OF 4 SHEETS

**PLAN OF DETAIL AND LEVELS
AT LIVERPOOL CIVIC PLACE,
TERMINUS STREET
LIVERPOOL**

veris

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t: (02) 92124655
email: surryhills@veris.com.au
web site: www.veris.com.au

(B) EASEMENT FOR OVERHANG 3 WIDE (LIMITED IN STRUTUM) (DP 1224084) LIMITED IN HEIGHT TO RL 55.0 & LIMITED IN DEPTH TO RL 26.5

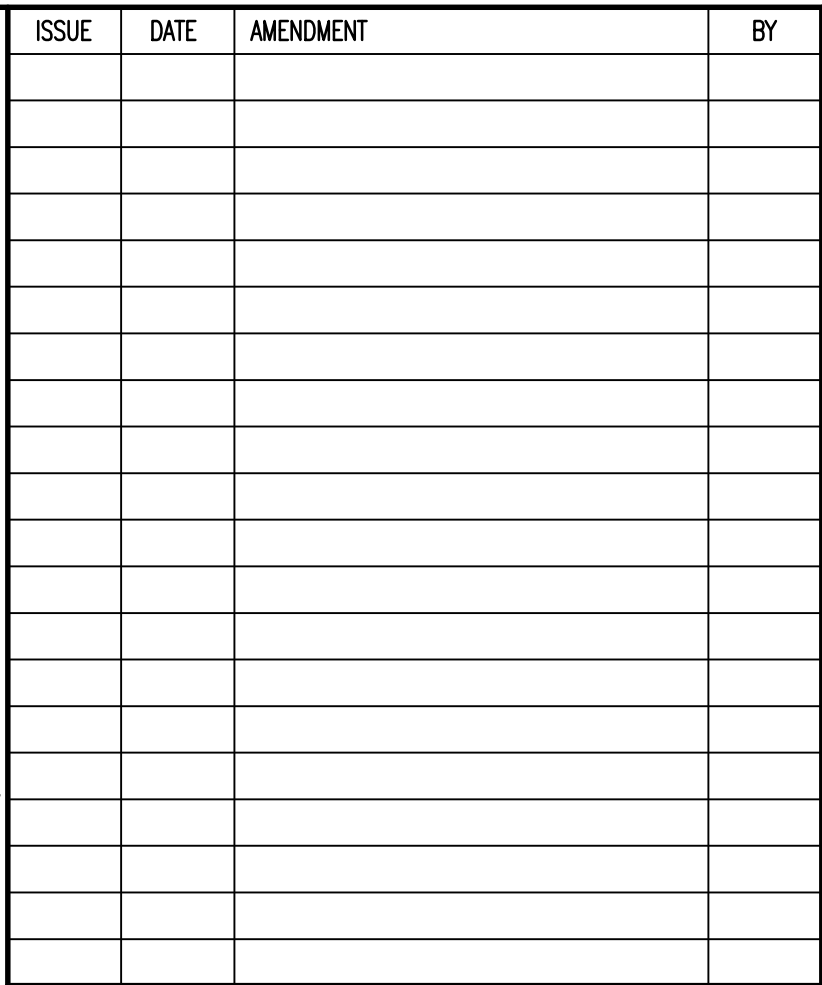
(D) EASEMENT FOR FOR LIGHT AND AIR VARIABLE WIDTH (LIMITED IN STRUTUM) (DP 1224084)

(D1) LIMITED IN DEPTH TO RL 40.0 AND UNLIMITED IN HEIGHT (DP 1224084)

(D2) UNLIMITED IN HEIGHT AND LIMITED IN DEPTH TO RL 26.5 (DP 1224084)

(M) RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRUTUM) (DP 1224084) LIMITED IN DEPTH TO RL 22.3 WHERE NOT BOUNDED BY LOT 200 & LIMITED IN HEIGHT TO RL 26.5

(A) EASEMENT FOR ELECTRICITY MAINS 1.22 WIDE (L18000) (DP 1136120P) (DP 235458)
(B) EASEMENT FOR ELECTRICITY MAINS (P418761) (DP 1136120P)
(C) EASEMENT FOR UNDERGROUND CABLES 1.72 WIDE (DP 1136120P) (AG834.336) (AG834.335)
(D) EASEMENT FOR UNDERGROUND CABLES 2 WIDE (DP 1136120P) (AG834.336)
(E) EASEMENT FOR PADMOUNT SUBSTATION 3.81 WIDE (DP 1136120P) (AG834.366)
(F) RESTRICTION ON THE USE OF LAND
(K) LAND EXCLUDES MINERALS (AK197737) (DP 1219599)

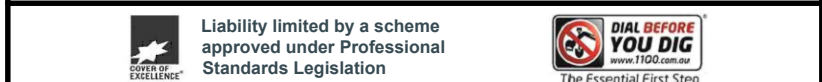


ORIGIN OF LEVELS SHOWN 154632, RL2,0450 (A.H.D.)
 BEARINGS ARE ON MAGN. NORTH
 NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN
 BEARINGS & DISTANCES HAVE BEEN OBTAINED FROM TIME AND/OR DEEP INFORMATION SUPPLIED
 BY DEPARTMENT OF LANDS NSW.
 RELATIONSHIPS OF THE INFORMATION SHOWN TO THE BOUNDARIES IS DIAGRAMMATIC ONLY AT THE
 SERVICE'S DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
 SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF
 SURVEY AND ARE RELATIVE TO THE POSSESSION OF THE VARIOUS AUTHORITIES. ALL DATA MUST
 BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. VERTEX AUSTRALIA PTY LTD
 BEAR NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN
 HEREON.
 ROADS, EASE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE
 AN APPROXIMATE PLANNING GUIDE.
 ADJACENT BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGNOSTIC PURPOSES ONLY
 AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
 (DIMENSIONS AND SPECIFIC DETAILS OF BUILDINGS ARE NOT TO BE TAKEN AS INDICATIVE ONLY AND SPECIFIC
 DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.)
 CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF
 A DETAILED DESIGN IS TO BE UNDERTAKEN.
 INTERNAL CONTOUR INTERVAL SIX METRE.

AE	ARCHITECTURAL EMBELLISHMENT	MLD	METAL LID
AL	ALIGNMENT PIN	MS	METAL SURFACE
AM	ANNING	OC	OUTER STRUCTURE
BALC	BALCONY	OPT	OPTICUS PIT
BAN	BANK	PC	PERM CROSSING
BBD	BOTTOM OF MINING	PE	PEDESTAL
BBD	BOTTOM OF BANK	PER	PERMANENT MARK
BBD	BOTTOM OF CHIMNEY	PF	PERF. POLE
BBD	BOTTOM OF DOOR	ROCK	ROCK
BBD	BOTTOM OF WINDOW	RM	RAILWAY
BF	BOTTOM OF FENCE	RR	REFERENCE MARK
BHW	BOTTOM OF HORIZONTAL BIT	RR	ROCK RIDGE
BK	BOTTOM OF BECK	RCH	CONCRETE RAIL
BLD	BUILDING	SC	SEWER
BM	BENCH MARK	SE	SEWER
BS	BULLHEAD	SEB	SEWER
BW	BOTTOM OF ROCK	SEP	SEWER INSPECTION PIT
BW	BOTTOM OF BANK	SLH	SEWER LAMP HOLE
BW	BOTTOM OF RETAINING WALL	SMR	SEWER MANHOLE
BW	BOTTOM OF STEPS	SN	SNIP POINT
BW	BOTTOM OF WALL	SSM	STATE SURVEY MARK
BWN	BOTTOM OF WINDOW	SV	STOP VALVE
CL	CEILING	SW	STORM WATER
CLD	CHANCELED	TARCH	TOP OF ARCH
CLD	CHANCELED	TAWN	TOP OF MINING
COL	COLUMNA	TB	TOP OF BANK
COM	COMMUNICATIONS PIT	TD	TOP OF DRAIN
CONC	CONCRETE	TOH	TOP OF CHIMNEY
OPT	OPTICUS PIT	TD	TOP OF DOOR
D	DOOR	TD	TOP OF DRAIN
DO	DISH DRAIN	TEP	TELESTRA PILLAR
DR	DRILL HOLE	TF	TOP OF FENCE
DRB	DRILL HOLE & MINES	TO	TOP OF GULLER
EB	EDGE OF BUTTME	TK	TOP OF KANSAS
EBX	ELECTRIC BOX	TI	TRAFIC LIGHT
EC	EDGE OF CONCRETE	TL	TRAFIC LIGHT
EC	EDGE OF ROAD	TP	TOP OF PARAPET
EC	EDGE OF GARDEN	TR	TRIE
ELD	EDGE OF DRAIN	TRP	TOP OF ROCK
ELP	EDGE OF PATH	TRW	TOP OF RETAINING WALL
ELP	EDGE OF ROAD	TS	TOP OF STEPS
FE	FENCE	TW	TOP OF WALL
FE	FENCE	UW	UNDERWIDE OF WINDOW
FTL	FISHED FLOOR LEVEL	US	UNDERSIDE
GL	GLASS	UW	UNDERWIDE OF MINING
GL	GLASS	USK	UNDERWIDE SERVICES
GR	GRASSING LEVEL	USB	UNDERWIDE OF BEAM
GM	GAS METER	USC	UNDERWIDE OF CEILING
HPS	HIGH POWERED GAS	USC	UNDERWIDE OF EAVE
HYD	HYDRA	UT	UNDERWIDE OF GULLER
HYD	HYDRA	V	VENT
K	KERB	VER	VERANDAH
L	LINTEL	W	WATER CROSSING
LP	LAMP POST	WM	WHEEL MARK

C	COMMUNICATIONS CABLE	RM	RECYCLED WATER
CSF	CERAMIC STORMWATER PIPE	RM	RISING MAN
C	UNDERGROUND ELECTRICITY CABLES	RMS	ROADS & MARITIME SERVICES
AE	UNDERGROUND ELECTRICITY & OPTUS CABLE	S	SEWER
AE	UNDERGROUND ELECTRICITY & OPTUS CABLE	S	SEWER OUTLET
FS	FIRE SERVICE	SH	SHARED TRINITY
FS	GAS LINE	SH	STORM WATER
GS	GAS LINE & ELECTRICITY CABLES	SW	STORMWATER CREEK
GS	NATIONAL BROAD BAND CABLES	T	TELSTRA CABLES
NG	NATURAL GAS PIPE	T	TELSTRA & GAS CABLES
NG	NATURAL GAS PIPE	U	UNKNOWN SERVICES
OH	OVERHEAD CABLES	VO	VOICUS CABLES
OPT	OPTIC CABLE	VR	VERIZON CABLES
PCE	PRIVATE ELECTRICITY	W	WATER SUPPLY
PCE	PRIVATE SEWER	WM	WATER MAIN
PW	PRIVATE WATER		

1. ALL UNDERGROUND SERVICE INFORMATION INCLUDING OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY.
2. ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM SERVICE AUTHORITY PLANS PROVIDED BY THE AUTHORITIES.
3. THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY ONLY USING THE SERVICE DIAGRAMS AS PROVIDED. THE EXACT LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PILING. NO WARRANTY IS GIVEN AGAINST POSSIBILITY OF THE EXISTENCE OF FURTHER UNANTICIPATED SERVICES.
4. ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES, IN ACCORDANCE WITH STANDARD "DIAL BEFORE YOU DIG" PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



REDUCTION RATIO 1 : 200

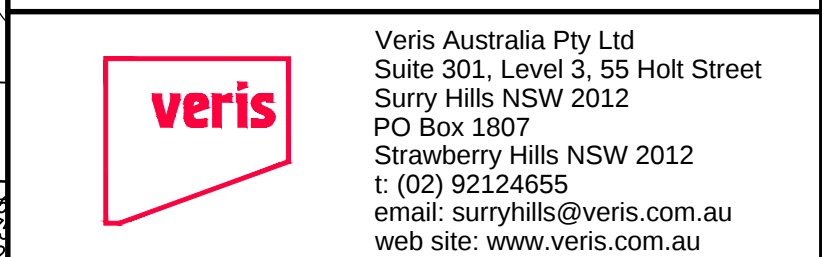
0 2 4 6 8 10 12 14 16 18 20

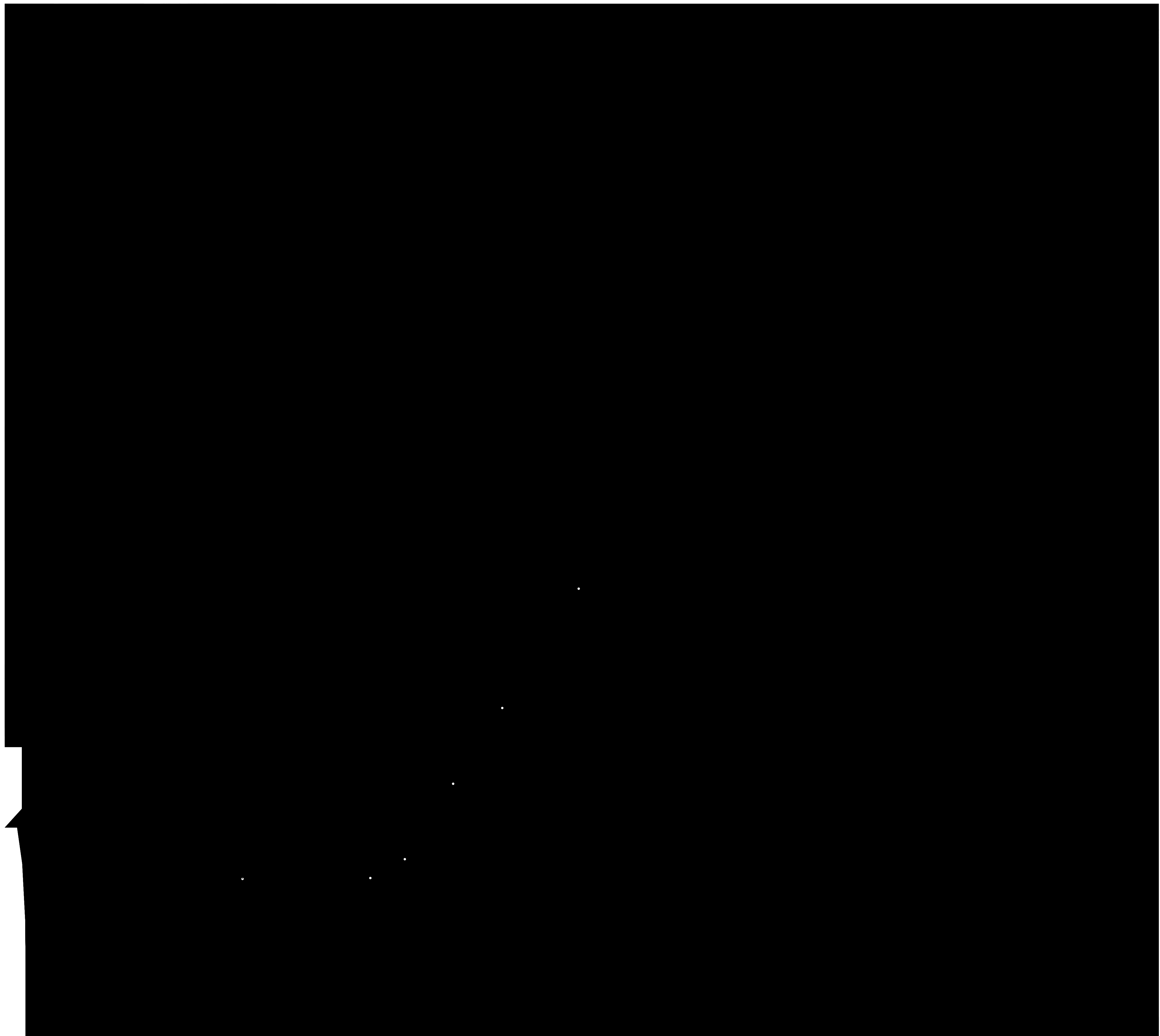
LENGTHS ARE IN METRES

CLIENT: BUILT DEVELOPMENT GROUP

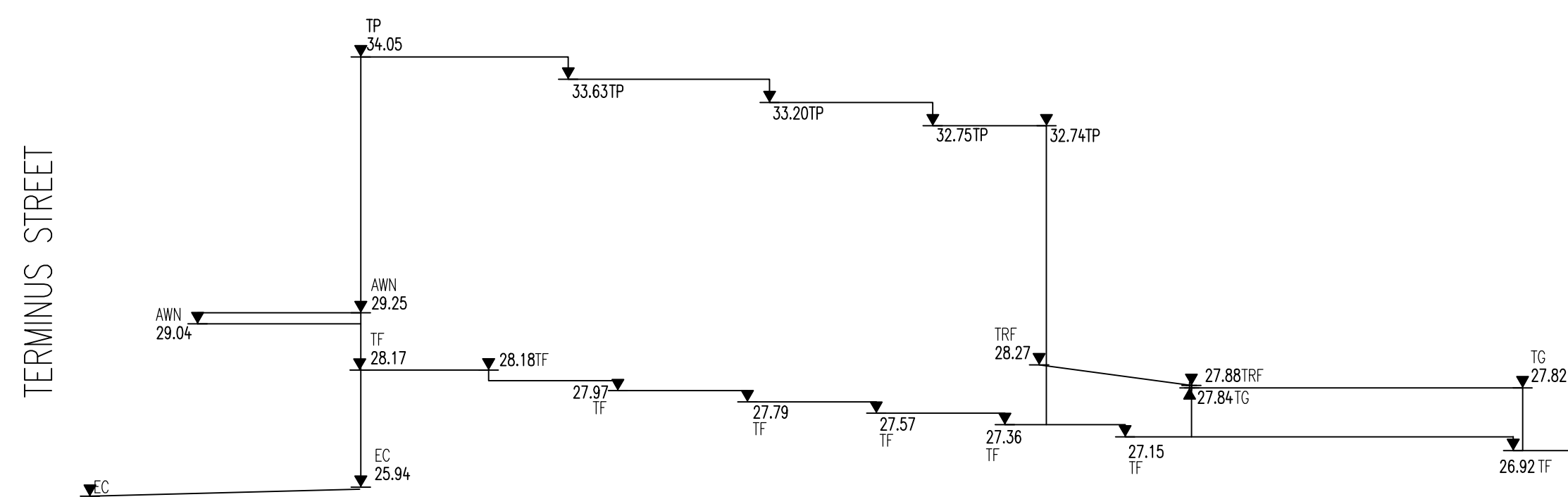
TITLE No:	REF:201512
DATUM: A.H.D.	ISSUE:1
DATE OF SURVEY: 14.06.19	ISSUE DATE:27.06.2019
SURVEYOR: SZ	SHEET SIZE:A1
DRAFTER: JJ	SHEET 2 OF 4 SHEETS

PLAN OF DETAIL AND LEVELS
AT LIVERPOOL CIVIC PLACE,
TERMINUS STREET
LIVERPOOL





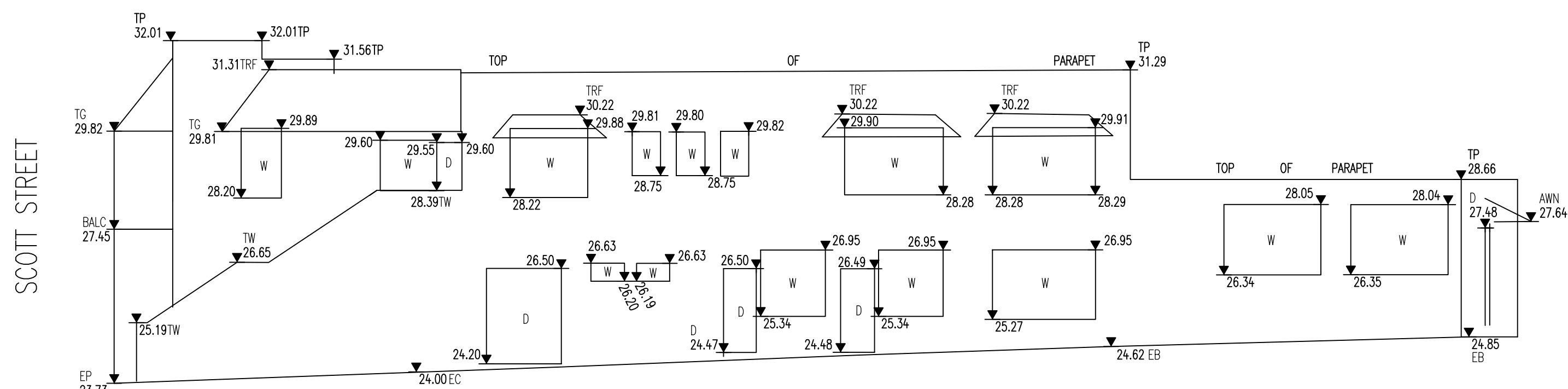
ELEVATIONS



EASTERN ELEVATION

No.83 TERMINUS STREET

RATIO: 1:100



WESTERN ELEVATION

No.38 SCOTT STREET

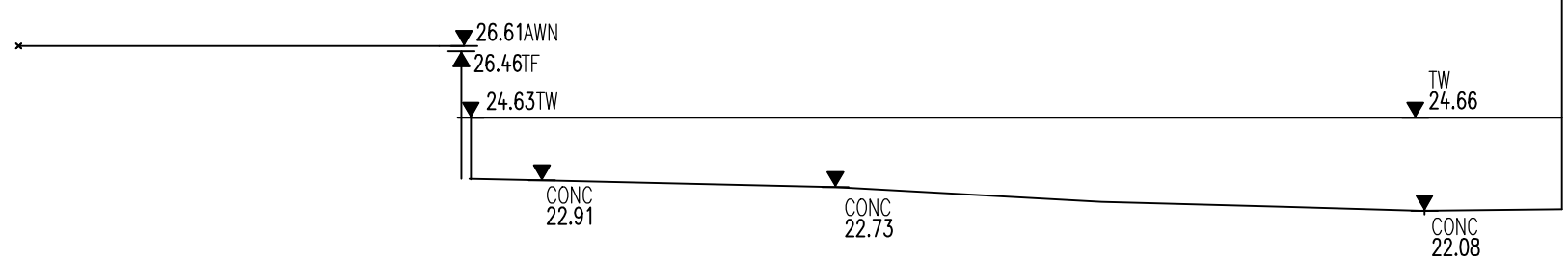
RATIO: 1:100



EASTERN ELEVATION

No.300 MACQUARIE STREET

RATIO: 1:100



SOUTHERN ELEVATION

No.300 MACQUARIE STREET

RATIO: 1:200

[illegible]

TYPICAL NOTES:

1. ORIGIN OF LEVELS SHOWN 154332, RL21.450 (A.H.D.)
2. BEARINGS ARE ON MAG NORTH
3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN
4. BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TIME AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NW
5. RELATIONS OF BOUNDARIES AND DETAIL TO BOUNDARIES IS DIAGNOSTIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
6. SURVEYS SHOWN ARE BASED ON VERGIC SURVEY RECORDS OBTAIN AT THE DATE OF SURVEY. RELEVANT RECORDS OF THE RELEVANT SURVEYING AUTHORITIES SHALL BE MADE VERIFIABLE ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. YERES AUSTRALIA PT L1 BEAR NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SURVEYS SHOWN HEREIN
7. RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIAN METHOD AND ARE NOT ACCURATE FOR PLANNING PURPOSES ONLY
8. DETAIL OF BUILDINGS AND DETAILS HAVE BEEN PLOTTED FOR DIAGNOSTIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
9. THE DIMENSION (D), SPREAD (S) & HEIGHT (H) OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS OF DIMENSION AND SPREAD WILL BE OBTAINED BY FURTHER SURVEY.
10. CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAIL DESIGN IS BEING UNDERTAKEN.
11. CONTINUED INTERNAL WORKING DRAWING

LEGEND OF TYPICAL CODES

AE - ARCHITECTURAL EMBELLISHMENT	MID - METAL LID
AL - ALIGNMENT PIN	MS - NATURAL SURFACE
AN - ANGLE	OS - STRUCTURE
BAL - BALCONY	OT - OPTIC PIT
BAW - BAY WINDOW	PC - PAVEN CROSSING
BB - BOTTOM OF BANK	PEP - PEDESTRIAN CROSSING
BCH - BOTTOM OF CHANNEY	PER - PERGOLA
BD - BOTTOM OF DOOR	PFM - PERMANENT MARK
BO - BOTTOM OF	PI - POWER POLE
BF - BOTTOM OF FENCE	PK - ROCK
BHR - BOTTOM OF HANDRAIL	RLW - RAILWAY
BS - BOTTOM OF BANK	RT - RETENANCE MARK
BSK - BOTTOM OF KERB	RR - ROOF RIDGE
BUL - BULLHEAD	RSN - CONCRETE WALL
BL - BENCH MARK	SEN - SENER
BSL - BENCH LINE	SHR - SHOWER
BK - BENCH	SP - SENER INSPECTION PIT
BRK - BREAK	SLH - SENER LAMP HOUSE
BW - BOTTOM OF RETAINING WALL	SMH - SENER MANHOLE
BS - BOTTOM OF STEPS	SSN - SSN POST
BSW - BOTTOM WALL OF WINDOW	SW - SENS SURVEY MARK
CHW - CHANNEY	SV - STOP VALVE
CL - CENTRELINE	SW - STORM WATER
CLD - CULVERT	TAROT - TOP OF ARCH
COL - COLUMN	TARV - TOP OF ANVING
COM - COMBINATION PIT	TB - TOP OF BANK
CY - CYCLIST	TE - TELETRA BEAM
DO - DOOR	TCH - TOP OF CHANNEY
DOS - DOOR STOP	TD - TOP OF DOOR
DSH - DRAIN	TEP - TELETRA PLUM
DH - DRAIN HOLE	TF - TOP OF FENCE
DW - DRILL HOLE & WINGS	TO - TOP OF OUTLET
ENT - EDGE OF BITUMEN	TI - TRAFFIC ISLAND
ERD - EDGE OF ROAD	TK - TOP OF KERB
EC - EDGE OF CONCRETE	TL - TRAFFIC LIGHT
ED - EDGE OF DRIVE	TP - TOP OF PARAPET
EG - EDGE OF GARDEN	TR - TREE
EL - ELECTRICITY PIT	TRF - TRAFFIC
ELP - LIGHT POLE	TRK - TOP OF ROCK
EP - EDGE OF PATH	TRW - TOP OF RETAINING WALL
ER - EDGE OF ROAD	TS - TOP OF STEPS
FL - FENCE	TW - TOP OF WALL
FLC - FENCE LEVEL	TRW - TOP OF WINDOW
FTL - FINISHED FLOOR LEVEL	UN - UNDERGIRD
GL - GROUND LEVEL	UNW - UNDERGIRD OF ANVING
GL - GLASS DOOR	UNW - UNKNOWN SURFACE
GL - GROUND LEVEL	UNW - UNDERGIRD OF BEAM
QM - GAS METER	UNW - UNDERGIRD OF CEILING
HPS - HIGH POWERED GAS	UNW - UNDERGIRD OF EAVE
HR - HORIZONTAL	UNW - UNDERGIRD OF UTTER
HPD - HYDRAUNT	V - VENT
INR - INVERT LEVEL	VER - VERANDAH
K - KERB	VE - VEHICLE CROSSING
LNH - LAMP HOUSE	W - WINDOW
L - LAMP POST	WM - WATER METER

LEGEND OF TYPICAL SERVICES

C	COMMUNICATIONS CABLE	RM	RECYCLED WATER
CSMP	CERAMIC STORMWATER PIPE	RS	RISING MAIN
E	UNDERGROUND ELECTRICITY CABLES	RMS	ROADS & MARITIME SERVICES
AE	UNDERGROUND ELECTRICITY & OPTUS CABLES	S	SEWER
AS	UNDERGROUND ELECTRICITY & OPTUS CABLES	SW	SEWER OUTFALL
FS	FIRE SERVICE	ST	SHARED TRENCH
GS	GAS LINE	STW	STORM WATER
GE	GAS LINE & ELECTRICITY CABLES	SW - GK	STORMWATER DRAIN
NB	NATIONAL BROAD BAND CABLES	TL	TELSTRA CABLES
NG	NATURAL GAS LINE	TC	TELSTRA & GAS CABLES
OH	OVERHEAD CABLE	VO	VOICED SERVICES
OP	OPTUS CABLE	W	WATER
PE	PRIVATE ELECTRICITY	WM	WATER SUPPLY
PS	PRIVATE SEWER	WM	WATER MAIN

1. ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY.
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4. ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES, IN ACCORDANCE WITH STANDARD "DIAL BEFORE YOU DIG" PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



Liability limited by a scheme approved under Professional Standards Legislation



CLIENT: BUILT DEVELOPMENT GROUP

TITLE No:
DATUM: A.H.D.
DATE OF SURVEY: 14.06.19
SURVEYOR: SZ
DRAFTER: JJ

REF:201512
ISSUE:1
ISSUE DATE:27.06.2019
SHEET SIZE:A1
SHEET 4 OF 4 SHEETS

PLAN OF DETAIL AND LEVELS AT LIVERPOOL CIVIC PLACE, TERMINUS STREET LIVERPOOL



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Surry Hills NSW 2012
PO Box 1807
Strawberry Hills NSW 2012
t: (02) 92124655
email: surryhills@veris.com.au
web site: www.veris.com.au

PPSSWC-67 – Liverpool City Council – DA-906/2019 – 40-46, 48, 52 and 64 Scott Street, Liverpool
NSW 2170

Known as 52 Scott Street, Liverpool ('Liverpool Civic Place') – Early works DA

CONDITIONS

ATTACHMENT 22 - RECOMMENDED CONDITIONS OF CONSENT

A. THE DEVELOPMENT

Approved Plans

1. Development the subject of this determination notice must be carried out strictly in accordance with the following approved plans/reports marked as follows, except where modified by the undermentioned conditions.

Plan Name	Plan Number	Date	Issue	Prepared By
Location and Site Plan	DA0100	27/11/2019	-	FJMT
Demolition Site Plan	DA0101	27/11/2019	-	FJMT
Engineering Cover Sheet	RBG-XX-XXDR-ST-00000	01/11/2019	P2	Robert Bird Group
Shoring General Arrangement Plan Option 1	RBG-XX-XX-DR-ST-01110	01/11/2019	P1	Robert Bird Group
Shoring General Arrangement Plan Option 2	RBG-XX-XX-DR-ST-01122	01/11/2019	P2	Robert Bird Group
Shoring Loading Plan	RBG-XX-XX-DR-ST-01150	01/11/2019	P1	Robert Bird Group
Shoring sections Sheet 1	RBG-XX-XX-DR-ST-01321	01/11/2019	P1	Robert Bird Group
Shoring Survey Plan	RBG-XX-XX-DR-ST-01010	01/11/2019	P1	Robert Bird Group
Shoring Wall Elevations Sheet 1	RBG-XX-XX-DR-ST-01211	01/11/2019	P1	Robert Bird Group
Shoring Wall Elevations Sheet 2	RBG-XX-XX-DR-ST-01212	01/11/2019	P2	Robert Bird Group
Typical Shoring Details Sheet 1	RBG-XX-XX-DR-ST-01311	01/11/2019	P1	Robert Bird Group
Typical Shoring Details Sheet 2	RBG-XX-XX-DR-ST-01312	01/11/2019	P1	Robert Bird Group
Typical Shoring Details Sheet 3	RBG-XX-XX-DR-ST-01313	01/11/2019	P1	Robert Bird Group
Survey Plan (pages 1-4)	201512	27/06/2019	1	Veris Australia Pty Ltd

Report name	Date	Reference	Prepared by
Arboricultural Development Impact Assessment Report	22 November 2019	N/A	Birds Tree Consultancy
Construction Management Plan	30 March 2020	43144-1	Wood and Grieve Engineers
Construction Noise and Vibration Management Plan	8 April 2020	43144-1	Wood and Grieve Engineers
Contamination, Ecological and Flood Report	29 November 2019	AWE200116	Cardno

Destructive Hazardous Building Report	November 2019	60760	Prensa
Geotechnical and Environmental Investigation Report	28/11/2019	19125312-001-R-Rev2	Golder
Heritage Impact Statement	10 December 2019	N/A	NBRS Architecture Heritage
Historical Archaeological Assessment	November 2019	20190408	Extent
Geotechnical and Environmental Investigation Report	28 November 2019	19125312-001-R-Rev2	Golder
Preliminary Geotechnical Assessment	28 November 2019	19125312-002-L-Rev1	Golder
Preliminary Site Investigation	April 2019	85594.02	Douglas Partners
Structural Notes	1 November 2019	RBG-XX-XX-DR-ST-00001	Robert Bird Group
Structural Report	11 December 2019	C	Robert Bird Group
Waste Management Plan	27 December 2019	MP - 09 Waste Management Plan – 02	DECC

Approval under *Water Management Act 2000*

- The development consent holder must apply to WaterNSW for the relevant approval under the *Water Management Act 2000* before the commencement of any work or activity.

WaterNSW General Terms of Approval

- All General Terms of Approval (GTAs) dated 5 May 2020 and issued by the WaterNSW shall be complied with prior, during, and at the completion of works. A copy of the GTAs are attached to this decision notice. Note: the GTAs do not constitute approval under the *Water Management Act 2000*.

Works at no cost to Council

- All roadworks, drainage works and dedications, required to effect the consented development shall be undertaken at no cost to Liverpool City Council.

Compliance with the *Environmental Planning and Assessment Act 1979* and *Environmental Planning & Assessment Regulation 2000*

- The requirements and provisions of the *Environmental Planning and Assessment Act 1979* and *Environmental Planning & Assessment Regulation 2000*, must be fully complied with at all times.

Failure to comply with these legislative requirements is an offence and may result in the commencement of legal proceedings, issuing of 'on-the-spot' penalty infringements or service of a notice and order by Council.

National Construction Code

6. All aspects of construction shall comply with the applicable Performance Requirements of the National Construction Code. Compliance with the Performance Requirements can only be achieved by:
 - a. Complying with Deemed to Satisfy Provisions; or
 - b. Formulating an Alternative Solution, which complies with the Performance Requirements or is shown to be at least equivalent to the Deemed to Satisfy Provision, or a combination of (a) and (b).

Tree Removal

7. Any works or activities shall adhere to the recommendations outlined in the Arboricultural Development Impact Assessment Report prepared by Birds Tree Consultancy dated 22 November 2019.

B. PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

The following conditions are to be complied with or addressed prior to issue of the relevant Construction Certificate by the Principal Certifying Authority:

Long Service Levy

8. Long Service Levy payment is applicable on building work having a value of \$25,000 or more, at the rate of 0.35% of the cost of the works. The required Long Service Levy payment, under the Building and Construction Industry Long Service Payments Act 1986, is to be forwarded to the Long Service Levy Corporation or the Council, prior to the issuing of a Construction Certificate, in accordance with Section 6.8 of the Environmental Planning & Assessment Act 1979.

Banned Products

9. No building products that are banned, or products that are subject to a ban if used in a particular way under the Building Products (Safety) Act 2017 are to be used in the construction of the development.

Construction Traffic Management Plan

10. Prior to the issue of any Construction Certificate, a Construction Traffic Management Plan (CTMP) prepared by an accredited practitioner is to be submitted to Council's Traffic and Transport Section for review. Works shall not commence until the CTMP has been endorsed by Council's Traffic and Transport Section. The CTMP shall include but is not to be limited to the following:
 - a. Haulage routes and times to minimise impacts on the adjoining road network;
 - b. A breakdown of the truck movements that will enter and exit the site during the morning and afternoon peak times needs to be provided;
 - c. Access to the site is to be restricted to left-in only via Terminus Street;
 - d. Construction vehicles are to use the construction site access on Terminus Street between 9:30am and 2:30pm only to reduce impacts on the classified road network during the AM and PM peak times;
 - e. A swept path diagram of the largest construction vehicle to be used on the site showing left in / left out arrangement and the path created by the vehicles at both the Scott Street and Terminus Street gates;
 - f. Temporary road closures and / or road occupancy permit applications and associated traffic management and control plans (if any); and
 - g. Adequate parking for the construction staff to be provided on-site.

Section 138 Roads Act Approval

11. Prior to the issue of a Construction Certificate, a Section 138 Roads Act application/s, including payment of fees, shall be lodged with Liverpool City Council, as the Roads Authority for any

works required in a public road. These works may include but are not limited to any road occupancy or road closures.

Construction Pedestrian Traffic Management Plan

12. A Construction Pedestrian Traffic Management Plan (CPTMP) detailing construction vehicle routes, number of trucks, hours of operation, access arrangements and traffic control should be submitted to Council for approval prior to the issue of a Construction Certificate.

Retaining Walls on Boundary

13. All retaining walls shall be of masonry construction and must be wholly within the property boundary, including footings and agricultural drainage lines. Construction of retaining walls or associated drainage works along common boundaries shall not compromise the structural integrity of any existing structures.

Where a retaining wall exceeds 600mm in height, the wall shall be designed by a practicing structural engineer and a construction certificate must be obtained prior to commencement of works on the retaining wall.

S138 Roads Act – Roadworks requiring approval of civil drawings

14. Prior to the issue of a Construction Certificate for building or subdivision works the Certifying Authority shall ensure that a S138 Roads Act application, including the payment of application and inspection fees, has been lodged with Liverpool City Council (being the Roads Authority under the Roads Act), for provision of Rock Anchors in Scott Street and Terminus Street.

Engineering plans are to be prepared in accordance with the development consent, Liverpool City Council's Design Guidelines and Construction Specification for Civil Works, Austroad Guidelines and best engineering practice.

Note: Where Liverpool City Council is the Certifying Authority for the development the Roads Act approval for the above works may be issued concurrently with the Construction Certificate.

No loading on easements

15. Prior to the issue of a Construction Certificate the Certifying Authority shall ensure that the foundations of proposed structures adjoining the drainage and/ or services easement have been designed clear of the zone of influence.

Performance bond

16. Prior to the issue of any Construction Certificate, a performance bond is to be lodged with Liverpool City Council for an amount to be confirmed at time of payment.

The value of the bond shall be determined and administered in accordance with Liverpool City Council's Bond Policy.

Note: Contact Council's Land Development Section for further information relating to bond requirements.

Dilapidation Report

17. Prior to the Commencement of Works a dilapidation report of all infrastructure fronting the development in Scott Street and Terminus Street is to be submitted to Liverpool City Council. The report is to include, but not limited to, the road pavement, kerb and gutter, footpath, services and street trees and is to extend 10m either side of the development.

Dilapidation Report Private Property (Excavations)

18. A full dilapidation survey and report on the visible and structural condition of all neighbouring structures within the 'zone of influence' of the required excavations must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The zone of influence is to be defined as the horizontal distance from the edge of the excavation face to twice the excavation depth.

The dilapidation report and survey is to be prepared by a consulting structural/geotechnical engineer agreed to by both the applicant and the owner of any affected adjoining property.

All costs incurred in achieving compliance with this condition shall be borne by the person entitled to act on this Consent.

In the event that access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant MUST DEMONSTRATE, in writing, to the satisfaction of Council that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written concurrence must be obtained from Council in such circumstances.

Note: This documentation is for record keeping purposes only, and may be used by the developer or affected property owner to assist in any action required to resolve any dispute over damage to adjoining properties arising from the works. It is in the applicant's and adjoining owner's interest for it to be as full and detailed as possible.

Recommendations of Acoustic Report

19. The recommendations provided in the approved acoustic report titled Construction Noise & Vibration Management Plan (Ref: 43144-1, Revision 003) prepared by Wood & Grieve Engineers now part of Stantec, dated 8 April 2020 shall be implemented and incorporated.

The construction methodology and plans accompanying the Construction Certificate application shall be assessed and certified in writing by a suitably qualified acoustic consultant to verify conformance with the requirements of the aforementioned acoustic report. The written certification from the suitably qualified acoustic consultant shall be submitted to and approved by the Principal Certifying Authority (PCA) prior to issue of the Construction Certificate.

Note: 'Suitably qualified acoustic consultant' means a consultant who possesses the qualifications to render them eligible for membership of the Australian Acoustical Society or employed by an Association of Australasian Acoustical Consultants (AAAC) member firm.

Excavation Environmental Management Plan (EEMP)

20. Prior to issue of a construction certificate, an Excavation Environmental Management Plan (EEMP) for the development must be provided to the Principal Certifying Authority for approval. The environmental site management measures must remain in place and be maintained throughout the period of the development. The EEMP must address all environmental aspects of the development's construction phases, and include (where relevant), but not be limited to, the following:
- a) Asbestos Management Plan;
 - b) Project Contact Information;
 - c) Site Security Details;
 - d) Timing and Sequencing Information;
 - e) Site Soil Management Plan
 - f) Groundwater Monitoring and Management Plan;
 - g) Dust Control Plan;
 - h) Air Monitoring;
 - i) Health and Safety Plan;
 - j) Waste Management Plan;
 - k) Incident management Contingency;
 - l) Unexpected Finds Protocol; and
 - m) Construction Noise and Vibration Assessment and Management Plan.
21. The Construction Noise and Vibration Assessment and Management Plan (m) is to be a site-specific plan prepared by a suitably qualified acoustic consultant and shall be consistent with the 'Interim Construction Noise Guideline' published by the Department of Environment and Climate Change NSW (DECC 2009/265) dated July 2009 and include, but not necessarily be limited to the following information:
- Identification of nearby residences and other noise sensitive land uses;
 - Assessment of expected noise impacts;
 - Detailed examination of feasible and reasonable work practices that will be implemented to minimise noise impacts;
 - Strategies to promptly deal with and address noise complaints;
 - Details of performance evaluating procedures (for example, noise monitoring or checking work practices and equipment);
 - Methods for receiving and responding to complaints about construction noise;
 - Procedures for notifying nearby residents of forthcoming works that are likely to produce noise impacts; and
 - Reference to relevant licence and consent conditions.

The EEMP must take into consideration the recommendations provided in the relevant approved Reports, including the Noise and Vibration Management Plan, Waste Management Plan and the Geotechnical and Environmental Investigation Report.

The EEMP must be kept on site for the duration of the works and must be made available to Liverpool City Council Officers upon request.

C. PRIOR TO WORKS COMMENCING

The following conditions are to be complied with or addressed prior to works commencing on the subject site/s:

Site Development Work

22. Site development work in the form of excavation, underpinning or shoring works must not take place, until such time as a CC has been issued.

Commencement of Building Work

23. Building work shall not commence prior to the issue of a Construction Certificate. Building work as defined under Section 1.4 of the EP&A Act means any physical activity involved in the erection of a building and includes but is not limited to, the placement of any site shed/s or builders facilities, site grading, retaining walls, excavation, cutting trenches, installing formwork and steel reinforcement or, placing of plumbing lines.
24. Prior to the commencement of any building works, the following requirements must be complied with:
- a. Construction Certificate must be obtained from the Council or an accredited certifier, in accordance with the provisions of the *Environmental Planning & Assessment Act 1979*.
 - b. Where a Construction Certificate is obtained from an accredited certifier, the applicant shall advise Council of the name, address and contact number of the Accredited Certifier, in accordance with Section 6.6 of the Act.
 - c. A copy of the Construction Certificate, the approved development consent plans and consent conditions must be kept on the site at all times and be made available to the Council officers and all building contractors for assessment.
 - d. A principal certifier must be appointed to carry out the necessary building inspections and to issue an occupation certificate; and
 - e. The principal certifier must advise Council of the intended date to commence work which is the subject of this consent by completing a notice of commencement of building works or subdivision works form, available from Council's Customer Service Centre. A minimum period of two (2) working days' notice must be given.

Identification Survey Report

25. The building and external walls are not to proceed past ground floor/reinforcing steel level until such time as the PCA has been supplied with an identification survey report prepared by a registered surveyor certifying that the floor levels and external wall locations to be constructed, comply with the approved plans, finished floor levels and setbacks to boundary/boundaries. The slab shall not be poured, nor works continue, until the PCA has advised the builder/developer that the floor level and external wall setback details shown on the submitted survey are satisfactory. In the event that Council is not the principal certifier, a copy of the survey shall be provided to Council within three (3) working days.
26. On placement of the concrete, works again shall not continue until the PCA has issued a certificate stating that the condition of the approval has been complied with and that the slab has been poured at the approved levels.

Excavation

27. In the event the development involves an excavation that extends below the level of the base of the footings of a building, structure or work (including any structure or work within a road or rail corridor) on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
- a. Protect and support the building, structure or work from possible damage from the excavation, and
 - b. where necessary, underpin the building, structure or work to prevent any such damage.
 - c. a and b above does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.
 - d. Retaining walls or other approved methods necessary to prevent the movement of excavated or filled ground, together with associated subsoil drainage and surface stormwater drainage measures, shall be designed strictly in accordance with the manufacturers details or by a practising structural engineer.

Craning or Hoarding

28. If the work is likely to cause pedestrian or vehicular traffic in a public area to be obstructed or rendered inconvenient; or if craning of materials is to occur across a public or road reserve area, a separate Road Occupancy Certificate and/or Hoarding approval must be obtained from Liverpool City Council prior to undertaking the works.

Sediment and Erosion Control

29. Adequate soil and sediment control measures shall be installed and maintained. Furthermore, suitable site practices shall be adopted to ensure that only clean and unpolluted waters are permitted to enter Council's stormwater drainage system during construction/demolition. Measures must include, as a minimum:
- a) Siltation fencing;
 - b) Protection of the public stormwater system; and
 - c) Site entry construction to prevent vehicles that enter and leave the site from tracking loose material onto the adjoining public place.
30. Prior to commencement of works sediment and erosion control measures shall be installed in accordance with the approved Construction Certificate and to ensure compliance with the Protection of the Environment Operations Act 1997 and Landcom's publication "Managing Urban Stormwater – Soils and Construction (2004)" – also known as "The Blue Book".

The erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised.

31. All easements over the site must be extinguished and services removed or relocated to the satisfaction of the relevant authorities.

Dilapidation Report

32. A dilapidation report including the Former Memorial School of Arts is to be completed and provided to Council prior to commencement of works. The dilapidation reports is to outline

the condition of the building and clearly document any existing cracks or other identified damage.

Archaeological Testing

33. Prior to commencement of excavation works, archaeological testing is to be undertaken in accordance with the Historical Archaeological Assessment prepared by Extent Heritage dated November 2019. Copies of all documentation submitted to Heritage NSW for an archaeological testing permit under Heritage Act 1977 and prepared after the completion of testing are to be provided to Liverpool City Council.

Waste Classification and Disposal of Contaminated Soil and Material

34. All soils and material(s), liquid and solid, to be removed from the site must be analysed and classified by an appropriately qualified and certified consultant, in accordance with the Protection of the Environment Operations (Waste) Regulation 2014 and related guidelines, in particular the NSW EPA Waste Classification Guidelines, prior to off-site disposal.

All Waste material(s) must be disposed of at an appropriately licensed waste facility for the specific waste. Receipts for the disposal of the waste must be submitted to the Principal Certifying Authority within 30 days of the waste being disposed of.

All waste must be transported by a contractor licenced to transport the specific waste, and in vehicles capable of carting the waste without spillage, and meeting relevant requirements and standards. All loads must be covered prior to vehicles leaving the site.

Construction vehicle swept paths

35. The swept path of the longest construction vehicle (19m semi articulated vehicle) entering the subject site via Terminus Street, as well as manoeuvrability through the site, shall be in accordance with AUSTROADS. In this regard, a plan shall be submitted to Council for approval, which shows the proposed development complies with this requirement.

Plans to be submitted to Transport for NSW

36. Detailed design plans and hydraulic calculations of any changes to the stormwater drainage system are to be submitted to TfNSW for approval, prior to the commencement of any works. Please send all documentation to development.sydney@rms.nsw.gov.au.

A plan checking fee will be payable and a performance bond may be required before TfNSW approval is issued.

37. The developer is to submit design drawings and documents relating to the excavation of the site and support structures to TfNSW for assessment, in accordance with Technical Direction GTD2012/001.

The developer is to submit all documentation at least six (6) weeks prior to commencement of construction and is to meet the full cost of the assessment by TfNSW. Please send all documentation to development.sydney@rms.nsw.gov.au.

If it is necessary to excavate below the level of the base of the footings of the adjoining roadways, the person acting on the consent shall ensure that the owner/s of the roadway is/are

given at least seven (7) day notice of the intention to excavate below the base of the footings. The notice is to include complete details of the work.

Road Occupancy License

38. A Road Occupancy Licence (ROL) should be obtained from Transport Management Centre (TMC) for any works that may impact on traffic flows on Terminus Street during construction activities. A ROL can be obtained through <https://myrta.com/oplinc2/pages/security/oplincLogin.jsf>.
39. Prior to any works commencing, a Road Occupancy Permit (ROC) is to be obtained from Council's Traffic and Transport Section for any works or activities that may impact on traffic flow of the local road network during early works construction activities. An ROC application can be submitted online.

If a works zone is required, an application must be made to Council's Traffic and Transport Section for approval. The application is to indicate the exact location required and the applicable fee is to be included. If parking restrictions are in place, an application to have the restrictions moved, will need to be made.

Demolition Works

40. Prior to the commencement of any works on the land, a detailed demolition work plan designed in accordance with the Australian Standard AS 2601-2001 – The Demolition of Structures, prepared by a suitably qualified person with suitable expertise or experience, shall be submitted to and approved by Council and shall include the identification of any hazardous materials, method of demolition, precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
41. Prior to commencement of any works on the land, the demolition Contractor(s) licence details must be provided to Council.
42. The handling or removal of any asbestos product from the building/site must be carried out by a NSW Work Cover licensed contractor irrespective of the size or nature of the works. Under no circumstances shall any asbestos on site be handled or removed by a non-licensed person. The licensed contractor shall carry out all works in accordance with NSW Work Cover requirements.
43. All demolition work is to be carried out in accordance with the requirements of AS 2601. Demolition is to be carried out strictly in accordance with the approved procedures and work plan.

Demolition Inspections

44. The following inspections are required to be undertaken by Council in relation to approved demolition works:
 - a) immediately prior to the commencement of the demolition or handling of any building or structure that contains asbestos. The applicant shall also notify the occupants of the adjoining premises and Workcover NSW prior to the commencement of any works. Please note that demolition works are not permitted to commence on site until such time as a satisfactory inspection result is obtained from Council, and;

b) immediately following completion of the demolition. Please note that proof of appropriate disposal of demolition materials (including asbestos) may be required at this time in accordance with the approved Waste Management Plan.

To book an inspection with Council, please call 1300 362 170.

Hours of Construction Work and Deliveries

45. Construction work/civil work/demolition work, including the delivery of materials, is only permitted on the site between the hours of 7:00am to 6:00pm Monday to Friday and 8:00am to 1:00pm Saturday. No work will be permitted on Sundays or Public Holidays, unless otherwise approved by Council.

Security Fence

46. A temporary security fence to WorkCover Authority requirements is to be provided to the property during the course of construction. Note. Fencing is not to be located on Council's reserve area.

Site Facilities

47. Adequate refuse disposal methods and builders storage facilities shall be installed on the site. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.

Site Notice Board

48. A sign must be erected in a prominent position on the premises on which work is to be carried out. The sign is to be maintained during work, and removed at the completion of work. The sign must state:
- a) The name of the principal contractor for the work and a telephone number on which that person may be contacted outside working hours; and
 - b) Unauthorised entry to the premises is prohibited.

Toilet Facilities

49. Toilet facilities must be available or provided at the work site and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site. Each toilet must:
- a. be a standard flushing toilet connected to a public sewer, or
 - b. have an on-site effluent disposal system approved under the Local Government Act 1993, or
 - c. be a temporary chemical closet approved under the Local Government Act 1993.

D. DURING WORKS

The following conditions are to be complied with or addressed during construction:

Erosion Control – Measures

50. Erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised.

Major Filling/ Earthworks

51. All earthworks shall be undertaken in accordance with AS 3798 and Liverpool City Council's Design Guidelines and Construction Specification for Civil Works.

The level of testing shall be determined by the Geotechnical Testing Authority/ Superintendent in consultation with the Principal Certifying Authority.

Vibration Monitoring

52. The Former Memorial School of Arts is to be monitored for impacts of vibration during excavation and shoring operations. Where vibration levels exceed maximum allowed, works are to cease until an engineer has inspected the building for potential damage, reviewed the scope of works and devised an approach to minimise impacts of further vibration.

Discovery of Artefacts

53. Any artefacts of moderate to high significance recovered from the site area are to be deposited at the Liverpool Regional Museum for inclusion in the Liverpool City Heritage Collection for potential interpretation on the site at the completion of the Civic Place development.

Aboriginal Relics/Artefacts

54. If any Aboriginal relics/artefacts are uncovered during the course of any construction works including demolition, work is to cease immediately. Government agencies shall be contacted and no further work shall be undertaken until relevant assessments/approvals/ salvage excavation has been undertaken and permission is given by the relevant authorities to re commence works.

Removal of Dangerous and/ or hazardous waste

55. All dangerous and/or hazardous material shall be removed by a suitably qualified and experienced contractor licensed by SafeWork NSW. The removal of such material shall be carried out in accordance with the requirements of SafeWork NSW and the material shall be transported and disposed of in accordance with NSW Environment Protection Authority requirements.

Contamination

56. The development, including all civil works and demolition, must comply with the requirements of the Contaminated Land Management Act, 1997, State Environmental Planning Policy No.

55 – Remediation of Land, and Managing Land Contamination – Planning Guidelines
(Planning NSW/EPA 1998).

Unidentified Contamination

57. Any new information which comes to light during demolition or works which has the potential to alter previous conclusions about site contamination and remediation must be immediately notified to Council and the Principal Certifying Authority in writing.

A Section 4.55 Application under the EP&A Act shall be made for any proposed works outside the scope of the approved development consent.

Imported fill material

58. Filling material must be limited to the following:
- Virgin excavated natural material (VENM)
 - Excavated natural material (ENM) certified as such in accordance with Protection of the Environment Operations (Waste) Regulation 2014; and/or
 - Material subject to a Waste Exemption under Clause 91 and 92 Protection of the Environment Operations (Waste) Regulation 2014 and recognised by the NSW Environment Protection Authority as being “fit for purpose” with respect to the development subject of this application.

Certificates proving that the material imported is ENM or VENM must be provided to the Principal Certifying Authority prior to filling. Certificates are to be provided to Council officers if and when requested.

Fill imported on to the site must be compatible with the existing soil characteristic for site drainage purposes.

Record keeping of imported fill

59. The following records of accepted waste derived fill material must be submitted to the Principal Certifying Authority at the completion of earth works
- the course (including the address and owner of the source site), nature and quantity of all incoming loads including the date, the name of the carrier, and the vehicle registration,
 - Documentation confirming the results of the waste classification assessment carried out on the fill material used in the development, and
 - the results of any chemical testing undertaken on fill material.

Air Quality – Dust Screens

60. Dust screens shall be erected and maintained in good repair around the perimeter of the subject land during land clearing, demolition, and construction works.

Air Quality – Stabilisation

61. Where operations involve excavation, filling or grading of land, or removal of vegetation, including ground cover, dust is to be suppressed by regular watering until such time as the

soil is stabilised to prevent airborne dust transport. Where wind velocity exceeds five knots the Principal Certifying Authority may direct that such work is not to proceed.

Air Quality – Vehicle Movement

62. All vehicles involved in the delivery, demolition or construction process departing from the property shall have their loads fully covered before entering the public roadway.

Water Quality

63. All topsoil, sand, aggregate, spoil or any other material shall be stored clear of any drainage line, easement, water body, stormwater drain, footpath, kerb or road surface and there shall be measures in place in accordance with the approved erosion and sediment control plan.

Pollution Control – Truck Movements

64. The loading and unloading of all vehicles associated with the development must be undertaken within the property boundary of the premises subject to this consent.

Measures must be implemented to prevent tracking of sediment by vehicles onto roads.

Vehicle loads must be covered when entering and exiting the site with material.

Excavation Environmental Management Plan (EEMP)

65. The approved EEMP shall be implemented, adhered to and maintained at all times during the construction period.

Asbestos Clearance Certificate

66. An Asbestos Clearance Certificate is to be provided to confirm that all materials have been removed and lawfully disposed of in compliance with NSW EPA and Safework NSW requirements.

Construction Vehicle Access

67. Construction vehicles are to use the construction site access on Terminus Street between 9:30am and 2:30pm only to reduce impacts on the classified road network during the AM and PM peak times.
68. All demolition and construction vehicles are to be contained wholly within the site and vehicles must enter the site before stopping. A construction zone will not be permitted on Terminus Street.
69. The access from Terminus Street shall be restricted to left-in only.

Traffic Management

70. Conditions of the Road Occupancy Licence (ROL) and Road Occupancy Permit (ROC) shall be complied with for any works that may impact on traffic flows on Terminus Street and on the local road network during early works construction activities.

71. Notice must be given to Council's Traffic and Transport Section of any interruption to pedestrian or vehicular traffic within the road reserve, caused by the construction of this development. A Traffic Control Plan, prepared by an accredited practitioner must be submitted for approval, 48 hours prior to implementation. This includes temporary closures for delivery of materials, concrete pours etc.
72. The Council endorsed CTMP is to be implemented during the early works construction activities at all times.
73. Applications must be made to Council's Transport Planning section for any road closures. The applicant is to include a Traffic Control Plan, prepared by a suitably qualified person, which is to include the date and times of closures and any other relevant information.

E. PRIOR TO ISSUE OF ANY OCCUPATION CERTIFICATE

The following conditions are to be complied with or addressed prior to issue of either an Interim or Final Occupation Certificate by the Principal Certifying Authority:

Certificates

74. The premises must not be utilised until an Occupation Certificate is issued by the principal certifier.

Works as executed

75. Prior to the issue of an Occupation Certificate, works-as-executed drawings and compliance documentation shall be submitted to the Principal Certifying Authority in accordance with Liverpool City Council's Design Guidelines and Construction Specification for Civil Works.

An original set of works-as-executed drawings and copies of compliance documentation shall also be submitted to Liverpool City Council with notification of the issue of the Occupation Certificate where Council is not the Principal Certifying Authority.

Rectification of Damage

76. Prior to the issue of an Occupation Certificate, any damage to Council infrastructure not identified in the dilapidation report, as a result of the development shall be rectified at no cost to Liverpool City Council.

Any rectification works within Scott Street and Terminus Street will require a Roads Act application. The application is to be submitted and approved by Liverpool City Council prior to such works commencing.

Dilapidation Report

77. Any rectification works required by Council regarding the condition of Council infrastructure shall be undertaken, at full cost to the developer.

F. ADVISORY

- a) Section 8.2, 8.3, 8.4 & 8.5 allows Council to reconsider your proposal. Should you wish to have the matter reconsidered you should make an application under that section with the appropriate fee.
- b) Under Section 8.7 & 8.10 of the Act applicants who are dissatisfied with the outcome of a consent authority have a right of appeal to the Land and Environment Court. This right must be exercised within six (6) months from the date of this notice. The Court's Office is situated at Level 1, 225 Macquarie Street, Sydney (Telephone 9228 8388), and the appropriate form of appeal is available from the Clerk of your Local Court.
- c) In accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979, unless otherwise stated by a condition of this consent, this consent will lapse unless the development is commenced within five years of the date of this notice.
- d) To confirm the date upon which this consent becomes effective, refer to Section 4.20 of the *Environmental Planning and Assessment Act, 1979*. Generally the consent becomes effective from the determination date shown on the front of this notice. However if unsure applicants should rely on their own enquiries.
- e) To confirm the likelihood of consent lapsing, refer to Section 4.53 of the Act. Generally consent lapses if the development is not commenced within five years of the date of approval. However if a lesser period is stated in the conditions of consent, the lesser period applies. If unsure applicants should rely on their own enquiries.
- f) The approval of this application does not imply or infer compliance with the Disability Discrimination Act and that the developer should investigate their liability under the Act.
- g) The requirements of all authorities including the Environmental Protection Authority and the Work Cover Authority shall be met in regards to the operation of the building.
- h) "DIAL BEFORE YOU DIG"

Underground assets may exist in the area that is subject to your application. In the interest of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contact the Dial before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

i) TELECOMMUNICATIONS ACT 1997 (COMMONWEALTH)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed

works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on Phone Number 1800 810 443.

- j) The Liverpool City Council Local Government area soils and ground water may be subject to varying levels of Salinity. Whilst Council may require applicants to obtain Salinity reports relating to some developments, no assessment may be made by Council in that regard. Soil and ground water salinity levels can change over time due to varying factors. It is recommended that all applicants make their own independent inquiries as to appropriate protection against the current and future potential affect of Salinity to ensure the ongoing structural integrity of any work undertaken. Liverpool City Council will not accept any liability for damage occurring to any construction of any type affected by soil and or ground water Salinity.
- k) Care shall be taken by the applicant and the applicant's agents to prevent any damage to adjoining properties. The applicant or applicant's agents may be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such an adjoining property.
- l) The cost of any necessary adjustments to utility mains and services shall be borne by the applicant.

ATTACHMENT 1 – WaterNSW General Terms of Approval



Contact: Saad Khan
Phone: 0447 332 539
Email: Saad.Khan@watnsw.com.au

General Manager
Liverpool City Council
Group Manager Community & Culture
Locked Bag 7064
LIVERPOOL B C NSW 1871

Our ref: IDAS1124360
Our file: WLS
Your ref: da-906/2019

Attention: Boris Santana

05 May 2020

Dear Sir/Madam

Re: Integrated Development Referral – General Terms of Approval
Dev Ref: da-906/2019
Description: 80mm submersible pump
Location: 52 SCOTT STREET LIVERPOOL 2170

I refer to your recent letter regarding an integrated Development Application (DA) proposed for the above location. Attached, please find the WaterNSW General Terms of Approval (GTA) for part of the proposed development requiring a Water Supply Work approval under the *Water Management Act 2000* (WM Act), as detailed in the subject DA.

Please note Council's statutory obligations under section 91A (3) of the *Environmental Planning and Assessment Act 1979* (EPA Act) which requires a consent, granted by a consent authority, to be consistent with the general terms of any approval proposed to be granted by the approval body.

If the proposed development is approved by Council, WaterNSW requests these GTA be included (in their entirety) in Council's development consent. Please also note WaterNSW requests notification:

- if any plans or documents are amended and these amendments significantly change the proposed development or result in additional works or activities (i) in the bed of any river, lake or estuary; (ii) on the banks of any river lake or estuary, (iii) on land within 40 metres of the highest bank of a river lake or estuary; or (iv) any excavation which interferes with an aquifer.

WaterNSW will ascertain from the notification if the amended plans require review of or variation/s to the GTA. This requirement applies even if the amendment is part of Council's proposed consent conditions and do not appear in the original documentation.

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- if Council receives an application under s96 of the EPA Act to modify the development consent and the modifications change the proposed work or activities described in the original DA.
- of any legal challenge to the consent.

As the proposed work or activity cannot commence before the applicant applies for and obtains an approval, WaterNSW recommends the following condition be included in the development consent:

The attached GTA issued by WaterNSW do not constitute an approval under the Water Management Act 2000. The development consent holder must apply to WaterNSW for a Water Supply Work approval **after consent** has been issued by Council **and before** the commencement of any work or activity.

A completed application form must be submitted to WaterNSW together with any required plans, documents, application fee, security deposit or bank guarantee (if required) and proof of Council's development consent. Finalisation of an approval can take up to eight (8) weeks from the date the application and all required supporting documentation is received.

Application forms are available from the WaterNSW website at:
www.watarnsw.com.au > [Customer Services](#) > [Applications & Fees](#).

WaterNSW requests that Council provide a copy of this letter to the development consent holder.

WaterNSW also requests a copy of the determination for this development application be provided by Council as required under section 91A (6) of the EPA Act.

Yours Sincerely

Saad Khan

On behalf of

Wayne Conners
Senior Water Regulation Officer
Water Regulatory Operations
WaterNSW



General Terms of Approval

for proposed development requiring approval
under s89, 90 or 91 of the Water Management Act 2000

Reference Number:	IDAS1124360
Issue date of GTA:	05 May 2020
Type of Approval:	Water Supply Work
Description:	80mm submersible pump
Location of work/activity:	52 SCOTT STREET LIVERPOOL 2170
DA Number:	da-906/2019
LGA:	Liverpool City Council
Water Sharing Plan Area:	Greater Metropolitan Region Groundwater Sources

The GTA issued by WaterNSW do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to WaterNSW for the relevant approval **after** development consent has been issued by Council **and before** the commencement of any work or activity.

Condition Number	Details
Dewatering	
GT0062-00001	Groundwater shall not be pumped or extracted for any purpose other than temporary construction dewatering at the site identified in the development application.
GT0063-00001	An authorisation under the relevant water legislation, such as a Water Access Licence (WAL), shall be obtained for the take of groundwater as part of the activity. For avoidance of doubt, these terms do not represent any authorisation for the take of groundwater, nor do they constitute the grant, or the indication of an intention to grant, any required WAL.
GT0064-00001	An authorisation under the relevant water legislation, such as an Approval, is also required for the works involved in extracting the groundwater. For avoidance of doubt, these terms do not represent any authorisation for the construction or installation of such works.
GT0065-00001	The relevant works must not be carried out, installed or operated until a specialist hydrogeological assessment has been completed by the Department of Planning Industry and Environment, which concludes that adequate arrangements are in force to ensure that no more than minimal harm will be done to any water source, or its dependent ecosystems, as a consequence of the construction or use of the proposed water management work.
GT0066-00001	The design and construction of the building must prevent any take of groundwater after the authorisation has lapsed by making any below-ground levels that may be impacted by any water table fully watertight for the anticipated life of the building. Waterproofing of below-ground levels must be sufficiently extensive to incorporate adequate provision for unforeseen high water table elevations to prevent potential future inundation.
GT0067-00001	Sufficient permanent drainage shall be provided beneath and around the outside of the watertight structure to ensure that natural groundwater flow is not impeded and: a. any groundwater mounding at the edge of the structure shall be at a level not greater than 10 % above the level to which the water table might naturally rise in the location immediately prior to the construction of the structure; and b. any elevated water table is more than 1.0 m below the natural ground surface existent at the location immediately prior to the construction of the structure; and c. where the habitable part of the structure (not being footings or foundations) is founded in bedrock or impermeable natural soil then the requirement to maintain groundwater flows beneath the structure is not applicable.



General Terms of Approval

for proposed development requiring approval
under s89, 90 or 91 of the Water Management Act 2000

Reference Number: IDAS1124360
Issue date of GTA: 05 May 2020
Type of Approval: Water Supply Work
Description: 80mm submersible pump
Location of work/activity: 52 SCOTT STREET LIVERPOOL 2170
DA Number: da-906/2019
LGA: Liverpool City Council
Water Sharing Plan Area: Greater Metropolitan Region Groundwater Sources

- GT0068-00001 Construction methods and material used in and for construction shall be designed to account for the likely range of salinity and pollutants which may be dissolved in groundwater, and shall not themselves cause pollution of the groundwater.
- GT0069-00001 The Applicant is bound by the above terms and any other terms and conditions of the subsequent authorisation(s) required for the extraction of groundwater and the associated works under the relevant water legislation.
- GT0070-00001 Measurement and monitoring arrangements to the satisfaction of WaterNSW are to be implemented. Weekly records of the volumes of all groundwater pumped and the quality of any water discharged are to be kept and a completion report provided after dewatering has ceased. Records of groundwater levels are to be kept and a summary showing daily or weekly levels in all monitoring bores provided in the completion report.
- GT0071-00001 Following cessation of the dewatering operations and prior to the surrender of any associated authorisation, the applicant shall submit to WaterNSW the completion report which shall include: a. detail of the volume of water taken, the precise periods and location of water taken, the details of water level monitoring in all of the relevant bores; and b. The location and construction of groundwater extraction works that are decommissioned c. a water table map depicting the aquifer's settled groundwater condition and a comparison to the baseline conditions; and d. a detailed interpreted hydrogeological report identifying all actual resource and third party impacts, including an assessment of altered groundwater flows and an assessment of any subsidence or excessive settlement induced in nearby buildings and property and infrastructure.

SCHEDULE 1

The plans and associated documentation listed in this schedule are referred to in general terms of approval (GTA) issued by WaterNSW for integrated development associated with da-906/2019 as provided by Council:

- Ethos Urban (2019), Statement of Environmental Effects – 52 Scott Street, Liverpool. Early Works Integrated Development Application.
- Golder (2019), Geotechnical and Environmental Investigation Report – Liverpool Civic Place, ref:- 19125312-001-R-Rev2.

PPSSWC-67 – Liverpool City Council – DA-906/2019 – 40-46, 48, 52 and 64 Scott Street, Liverpool
NSW 2170

Known as 52 Scott Street, Liverpool ('Liverpool Civic Place') – Early works DA

SUBMISSIONS

The General Manager,
Liverpool City Council Attention. Mr. Nelson Mu

We refer to your letter dated 20th January 2020 regarding the subject DA of the new proposed Council Civic Centre.

We refer to our letter of the 8th November 2019. where we pointed out our concerns. regarding public car parking in the new development. Although some parking is provided in the building, however as it is now when all new buildings are completed, the public or visitors cannot get access to them Council must provide a large public car park within the propose new complex.

Council must seriously consider providing parking to the CBD to try and rescue all failing main street businesses, as you are aware there are many vacant shops, and those owners still have to pay high council rates, and huge land tax bills. So Council should do everything possible to provide car parking for shoppers, and visitors, to the professional rooms and retailers.

Please also keep in mind that during construction, we do not want to lose the 4 car spaces, and loading zone in front of the School of Arts Building. Council should do everything for construction workers and visitors to provide car parking within the building site.

Generally I am in favour of this project, this could be what Liverpool CBD needs. with the provisions of public car spaces.

Your reply in due course would be appreciated.

Thanking you.

JOHN SARLAS

Managing Director. of Landbank Real Estate Pty.Ltd. Postal Address. P.O. Box 100
LIVERPOOL NSW 1871.

Mob. 0418 41 3434.

This e-mail has been scanned on behalf of Liverpool City Council for viruses by MCI's Internet Managed Scanning Services - powered by MessageLabs.



Shop 4 & 5
300 Macquarie Street
LIVERPOOL NSW 2170
M: 0417 698 935

3 February 2020

The Chief Executive Officer
Liverpool City Council
Locked Bag 7064
BC NSW 1871

Dear Sir/ Madam,

RE: Submission for Development Application Number DA-906/2019 – Built Group

Thank you for your letter dated 20 January 2020 in relation to the Development Application for Demolition of existing structures and early works site preparation under DA-906/2019.

Please find attached my comments in relation to the development application for your review and action.

Should you require any further information or wish to discuss my comments please do not hesitate to contact me.

Yours sincerely

Youa Yang

Director
M|0417 698 935
PH|9601 2119
E|thaissance@outlook.com

THAI ESSENCE COMMENTS

COUNCIL REFERENCE: DA-906/2019

APPLICANT NAME: BUILT GROUP

LOCATION: LOT 17 DP 81842, LOT 1 DP 229979, LOT 2 DP 229979, LOT 3 DP 229979, LOT 22 DP 441010, LOT 23 DP 441010, LOT 1 DP 507070, LOT 201 DP 1224084, LOT 100 DP 877435, LOT 11 DP 522284, LOT 12 DP 657056, LOT 1 DP 514817, NO. 52 SCOTT STREET, LIVERPOOL NSW 2170, SCHOOL OF ARTS, 306-310 MACQUARIE STREET, LIVERPOOL NSW 2170, 48 SCOTT STREET, LIVERPOOL NSW 2170, 64 SCOTT STREET, LIVERPOOL NSW 2170

It is encouraging to see that the initial development application has progressed and we have been invited to make comment on the early works site preparation and demolition stage.

As the owner of the business located beside the proposed demolition site at Shop 4&5, 300 Macquarie Street, Liverpool I have a number of concerns. I have outlined these concerns in my initial response to DA-585/2019 but provide further comment directly related to the early works and demolition stage for your consideration.

1. **Noise, access and hoarding** surrounding the development site. How will these be managed so that my business is not affected?

Noise; there will be considerable noise pollution from the early works site preparation and demolition works and as my business is located beside the development site it is a real concern for not only my customers but also my employees which will inturn impact my business. The business currently enjoys the quite and tranquil surroundings. It also has the comfort of sliding doors along the front that brings in necessary ventilation and allows customers to enjoy their dinning experience.

Access; the building is located setback to Macquarie Street and has side and front access leading directly to the shop from this main road. How will my customer's gain access to the shop without having to make too much effort?

Hoarding; I have real concerns that the hoarding and safety requirements of this construction will be so strict and wide sweeping, as is necessary, that their effect on our viability will be catastrophic. I respectfully ask that arrangements be considered to protect our financial investments and our livelihoods. I am seeking an undertaking that council will consider the implications of such works on people wanting to maintain the quiet enjoyment of their tenancy.

2. The direct impact on the building's physical visibility to the general public and my businesses operating hours which will inturn affect my financial ability to continue operating.

Whilst I am not against the works, during and after the construction I believe my business will be impacted upon to be able to sufficiently support the ongoing commitments to operate. No visibility of my restaurant will give the impression **'I am no longer operating'**.

3. Access to parking on Macquarie Street at the front of the Memorial School of Arts. We are already limited to minimal parking at the premises. To reduce access of parking along Macquarie Street will impact the delivery of products / dry goods and the delivery of food via our third party partners which will directly affect the business.

I ask that Council consider these concerns and assist me in providing a solution as they will affect my ongoing ability to be able to continue operating before, during and after construction. I would welcome any discussions and more so a solution to ensure I am able to meet my business commitments.

Should you have any further questions or queries please do not hesitate to contact me.

Yours Sincerely

A handwritten signature in black ink, appearing to read 'Youa Yang', with a stylized, sweeping underline.

Youa Yang
Director
Thai Essence

Director
M|0417 698 935
PH|9601 2119
E|thaissance@outlook.com